

# SECTION 10. LANDSCAPE DESIGN STANDARDS

## 10.1 LANDSCAPE DESIGN STANDARDS

The Liberty Specific Plan Landscape Design Standards are intended to provide a consistent high-quality design direction for improvements throughout the community. Through implementation of these Standards, value will be built, and a consistent level of quality will be established throughout the community by creating livable neighborhoods, inviting parks and efficient greenbelts and trails where emphasis has been placed upon the landscaped environment. While implementation of the Standards will take place over many years and phases, they establish a holistic framework to be followed. These Standards are not intended to limit creativity or address all unique situations, but rather ensure that the fundamental goals and vision for Liberty are achieved. The purpose of the Design Standards is as follows:

- To provide the City of West Sacramento with the necessary assurance that, when completed, Liberty will be built in accordance with the quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design integrity, character, and aesthetics and provide homes and structures that advance the goals and policies of the General Plan (i.e., greenhouse gas reduction and other associative climate action goals and policies);
- To provide guidance to homeowners wishing to make improvements or modifications on private property;
- To provide guidance to City staff, the Planning Commission, and the City Council in the review of future development submissions; and
- To allow flexibility for innovative and creative design solutions while respecting the overall goal, vision, character of Liberty and the surrounding existing built environment.

## 10.2 COMMUNITY DESIGN STANDARDS

### 10.2.1 THE LANDSCAPE ENVIRONMENT

Liberty has been designed as a pedestrian-scale, walkable and bikeable community where each neighborhood has access to community and neighborhood parks, greenbelts/trails, and The Commons. The pedestrian-scale community design along with convenient access to greenbelts/trails accommodates a lifestyle less reliant on the automobile and more on walking and biking. Through the Standards and requirements, the landscape environment—including placemaking, wayfinding, and site amenities—shall embrace and reflect the overarching farmhouse interpretive and contemporary cottage architectural design theme and character established for Liberty.

Throughout Liberty, the community design theme of farmhouse interpretive and contemporary cottage will be reinforced through a formally composed landscape design for both private and public spaces. This formal planting composition, reminiscent of agricultural planting patterns, will support and reinforce the farmhouse interpretive and contemporary cottage character and theme. A consistent family of community design elements such as streetlights, benches, tables, plant material, and building materials shall be found throughout Liberty to establish a strong and unifying character. Plant species, along with hardscape

materials and textures, shall be carefully selected to achieve this goal. The physical layout and arrangement of these elements shall reinforce and complement the pedestrian scale of the community, as is shown in Exhibit 10-1, Landscape Concept.

**Streetscapes** – Streets play an important part in a community which are exhibited through landscaping (canopy shade trees, shrubs, and ground-plane plant material with seasonal variety), sidewalks (varying widths and materials), and parkways allowing separation, all of which are designed to create a comfortable, safe, appealing, and unified environment.

**Greenbelts/Trails** – Greenbelts/trails link the community through a network of well-organized systems each designed intentionally with the pedestrian in mind. Hardscape materials and the accompanying landscape shall create safe and visually pleasing environments. These systems are intended to be prime mobility routes for the residents of Liberty.

**Parks** – Amenities and the landscaping within The Commons, community park (Sports and Recreation Community Park), neighborhood parks, neighborhood commercial, and greenbelts shall be designed to promote recreation, gathering, and leisure activities. Much like all other spaces within Liberty, parks shall also be designed to support the overarching farmhouse interpretive and contemporary cottage character of the community.

**Community Monumentation** – Monumentation shall respect the design theme and character of Liberty while utilizing quality materials in their construction. Monuments shall not be bold expressions, instead simple in composition and scaled appropriately for their intended use of wayfinding and placemaking.

**Walls and Fences** – Walls and fences shall provide security, spatial definition, screening, and noise attenuation. Walls and fences shall be located where appropriate; Liberty shall not be a community of extensive soundwalls or tall fences. Low walls and fences will create interest and definition between public and private spaces. Designs can include view walls/fences, post-and-cable, split rail, off-sets, and/or tubular steel. When walls and fences are to be used, they shall utilize quality materials and appropriate colors that support Liberty’s overall design and character. Materials such as chain link fencing and vinyl are prohibited. For additional detail, refer to Exhibit 10-34 through Exhibit 10-37.

### 10.2.2 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Safety is one of Liberty’s project objectives. When people feel safe in their neighborhoods, they are more likely to interact with one another and take ownership of their community. For this reason, Liberty has been designed to allow for “eyes on” spaces with the goal of providing an increased sense of security, ownership, and pride (refer to Exhibit 12-1, Crime Prevention Through Environmental Design).

The site planning for Liberty provides a strong foundation for achieving the primary goal of CPTED; that is, designing communities to deter criminal activity. Close attention to design and detail are required during the improvement plan process, with attention focused on the following:

- Creating “Defensible Spaces” that allow people to see and be seen continuously.
- Increasing the sense of security. Doing so will encourage people to take control of the community and its subareas and assume a role of ownership.
- Providing “Natural Surveillance” by taking steps to increase the perception that people can be seen. Spaces shall be designed to maximize visibility and enable close social interaction amongst residents.



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- Providing “Natural Access Control” by clearly delineating public spaces and private spaces. Clear definition of space will alert an observer that an individual is somewhere they should not be.
- Providing “Natural Territorial Reinforcement” by designing environments where people will use spaces and in turn have a greater sense of ownership. Providing areas where residents feel comfortable, occupy, and “own” a space will deter a negative criminal element from occupying it.
- Ensuring a comprehensive maintenance program and enforcement entity to preserve the high-quality character of Liberty. It is recognized that maintenance creates positive community energy and is an expression of pride and ownership.

For detailed guidance on the application of CPTED principles in Liberty, see Section 12, Community Safety Design Standards.

### 10.2.3 WATER CONSERVATION

Liberty is committed to water conservation through the design and management of the landscaped environment. A significant step to conserving water rests primarily in the landscape of each residence, and secondarily in parks, also along roadway and greenbelt landscaping within the community. Therefore, these Guidelines set forth practices and steps that when followed will reduce the use of water.

Beginning in January 2010, the State of California required applicable landscapes to comply with its Model Water Efficient Landscape Ordinance (MWELo), which recognizes that water is a limited and precious resource and should not be wasted or unreasonably used. The purpose of the MWELo is to promote water conservation, the efficient use of water, and to prevent waste by establishing a structure for planning, designing, installing, maintaining, and managing water efficient landscapes. It acknowledges that landscapes are essential to enhancing and maintaining the quality of life in California by providing areas for active and passive recreation and enhancing the environment by cleaning the air we breathe and the water we drink. Therefore, it is imperative that the landscaped environment be designed, installed, maintained, and managed in such a way that water is conserved and efficiently used. This can be achieved by reducing water use to the lowest practical amount.

In support of the State of California’s MWELo, the City of West Sacramento City Council adopted a Water Efficient Landscaping Ordinance (WELo) tailored to its uniqueness. Title 13, Chapter 13.04, Article XII of the of the City Municipal Code contains Water Efficient Landscape and Irrigation regulations, with which the Liberty SP development will comply. Liberty will implement these regulations during the design and improvement plan process in the following ways:

- Planting and irrigation improvement plans shall be prepared by a licensed Landscape Architect. Irrigation plans, when not prepared by a Landscape Architect, shall be prepared by a certified irrigation designer.
- Plant material used within Liberty shall be climate appropriate and drought tolerant.
- The majority of all plant material used within Liberty shall be found within the “moderate”, “low”, and “very low” categories as defined within the latest edition of “Water Use Classifications of Landscape Species” (WUCOLS). “High” water use plant material, such as turf, shall be used sparingly within Liberty, predominately in active recreational settings such as parks. Generally, turf shall be used within public park spaces for active and passive benefit and not for aesthetics.

- Irrigation efficiency shall be increased by matching water supply to plant needs; only the amount of water needed to maintain a healthy and thriving plant shall be applied.
- Irrigation systems shall be designed and tailored to the attributes of selected plant material, existing soil type, permeability, and exposure.
- Automatic irrigation controllers shall employ water management features such as soil moisture probes, rain shut-off sensors, and evapotranspiration-based scheduling.
- Irrigation systems shall be fully automatic, underground, and predominately low-volume, point-source delivery systems where appropriate per City and state Water Efficient Landscaping Ordinances. The use of overhead, low-volume, spray irrigation equipment shall be used only where necessary and appropriate.
- No turf shall be used in the Liberty Specific Plan, except for programming of public park space.

### 10.2.4 COMMUNITY PLANT PALETTE

The City of West Sacramento's climate is influenced by California's Central Valley floor and the cooling marine air delivered by the Delta breezes. Recognizing this uniqueness, plant material shall be selected carefully based upon their adaptability to the local climate, soil conditions, and topographical conditions. Native and drought-tolerant trees, shrubs, and groundcovers shall be used. The selection of deciduous trees plays an important part of the community plant palette in that they can minimize summer heat island effects as well as provide heat gain in the winter. Furthermore, canopy shade trees for use within Liberty shall be dense enough to block out some or all sunlight during the hottest part of the day during the summer months, spread enough to shade such spaces as outdoor livable front yards, or when grouped together shade entire streets and parking lots. While shade is important, tree canopies shall not block PV panels or future PV panel areas on the roofs or carports throughout Liberty.

A limited community plant material palette consistent with City ordinances and guidelines will be defined prior to construction to meet city drought tolerance landscape ordinances, water uses, and best practices. The palette will ensure greater unity, cohesion, simple composition, and consistency supporting Liberty's identity and character. This unique landscape identity will differentiate Liberty from surrounding subdivisions, "soften" its spaces, and positively affect the quality of the outdoor environment.

The community tree palette, shown in , Community Tree Palette, has been created for its design appropriateness, climate conditions, and maintenance attributes while supporting a water efficient landscape. During the improvement plan process, for both private and public land uses, landscape architects shall select from the tree species listed in Table 10-1. The Community Street Tree Master Plan, which complements Table 10-1, is shown in Exhibit 10-2.

Minimum tree size shall be 24" box is strongly encouraged in primary project entry locations and shall comply with the City of West Sacramento Master Tree List<sup>2</sup>. All street trees shall be evergreen.

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<sup>2</sup> City of West Sacramento, Master Tree List 2021

<https://www.cityofwestsacramento.org/home/showpublisheddocument/11553/637393881818070000>

Shrubs and groundcovers shall be selected during the improvement plan process to not only thrive within the climate zone of West Sacramento, but also the microclimate found at Liberty. In addition, shrubs and groundcovers shall be selected to support the overarching farmhouse interpretive and contemporary cottage theme and character established for Liberty; primarily woody plant material, although ornamental grasses can be successfully woven into an overall planting scheme. The use of invasive and/or noxious plant species is not permitted within City rights-of-way. Blackberry vines/bushes may be used only within privately maintained areas. The selection of shrubs and groundcover shall transcend simple aesthetics and water conservation; they shall be selected to attract butterflies, bees, and hummingbirds, produce food for birds, produce fragrance, and embrace seasonal change. Whenever shrubs and groundcovers are used, they shall be used with a design intent to define space (public vs. private) as well as to create defensible spaces where appropriate. Shrubs and groundcovers shall be used in large massing to evoke the character reminiscent of agrarian practices.

Shrubs and groundcovers shall be selected to conserve water. The majority of plant material selected within Liberty shall fall into the categories of “very low,” “low,” or “moderate” water use as defined within Water Use Classifications of Landscape Species (WUCOLS).

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**TABLE 10-1: COMMUNITY TREE PALETTE**

Location	Botanical Name	Common Name
<b>Liberty</b>	A common unifying street tree has been selected for specific streets within Liberty. For all other locations, tree genus and species shall be carefully selected from this palette based upon the land use, scale, appropriateness, and available space. Each street shall have a unique street tree. Deciduous trees are recommended for seasonal color, to maximize solar relief from the summer sun, and provide heat gain in the winter. See Exhibit 10-2, Community Street Tree Master Plan.	
<b>All Land Use and Streets (for locations not shown within the Street Tree Master Plan)</b>	Acer species	Maple
	Celtis species	Hackberry
	Fraxinus species	Ash
	Ginkgo biloba	Maidenhair Tree
	Pistache chinensis "Keith Davey"	Chinese Pistache
	Pyrus species	Ornamental Pear
	Quercus species*	Oak
	Tilia cordata	Little-leaf Linden
	Ulmus parvifolia	Chinese Evergreen Elm
	Zelkova serrata	Sawleaf Zelkova
<b>Alleys</b>	Acer species	Maple
	Cercis species	Redbud
	Lagerstroemia species	Crape Myrtle
	Laurus nobilis	Sweet Bay
	Nyssa sylvatica	Tupelo
	Carpinus betulus "Fastigiata"	European Hornbeam
<b>Accent Trees Throughout Liberty</b>	Arbutus species	-
	Carpinus betulus	European Hornbeam
	Cercis canadensis	Eastern Redbud
	Cinnamomum camphora	Camphor Tree
	Cupressus sempervirens	Italian Cypress
	Eriobotrya deflexa	Bronze Loquat
	Geihera parviflora	Australian Willow
	Ginkgo biloba	Maidenhair Tree
	Laurus nobilis	Sweet Bay
	Lagerstroemia species	Crape Myrtle
	Malus species	Flowering Crabapple
	Nyssa sylvatica	Tupelo
	Olea europaea "Swan Hill"	Fruitless Olive Tree
	Prunus species	Flowering Cherry
	Rhus lancea	African Sumac
Schinus molle	California Pepper Tree	

\* The use of Oak trees, or similar species, is required within Liberty with the caveat that they must be carefully selected based upon the available space and site conditions to ensure their long-term health. Use of noxious or invasive plants within the City ROW is prohibited. All plantings located in the City ROW are subject to City approval.

## 10.2.5 LANDSCAPE PLANTING STANDARDS

The streetscape along with sidewalks, greenbelts/trails, lighting, driveways, front and side yard planting, walls, fences, and gates shall be considered a part of a comprehensive design approach that will lead to a well-integrated, harmonious, high-quality, and timeless character intended within Liberty. The formal composition of landscape materials and specifically plant material shall be used to create and define spaces and shall not be used simply as decoration. Low hedges will screen utilities and meters as well as serving as alternatives to privacy fences. Different utilities require different clearances for use, maintenance, and repair, so screening hedges shall comply with each utility's specifications. Landscape materials shall highlight the entry into a residence, soften edges, and provide scale. The use of specimen/accent plant material (e.g., size and/or unique form, texture, color) will be used at areas of visual importance. The selection of plant material will be made in conjunction with the City. The Community Facilities District (CFD) will maintain the two feet of landscape along Liberty Loop.

### A. LANDSCAPING AT SINGLE-FAMILY DWELLINGS

#### i. Front Yard Landscaping/The Livable Front Yards

The front yard of a single-family home within Liberty will be a usable and activated space (a livable front yard) allowing homeowners the opportunity to gather and socialize. Liberty front yards are more than landscaping for decoration. These livable spaces will encourage community interaction and help activate the street scene. These livable front yards shall be an extension of the home and considered as an outdoor "room" for people to enjoy. For this to occur, the livable front yards may include such items as welcoming patios, outdoor furniture, porch swings, attractive BBQs, water features, and fireplaces as well as enhancements such as decorative paving and low perimeter garden fences/walls and gates to define public vs. private spaces. Refer to Exhibit 10-3, Design Elements of a Livable Front Yard; Exhibit 10-4, Livable Front Yard: 35' X 100' Alley Load SFR; and Exhibit 10-5, Livable Front Yard: 60'X 100' Front Load SFR, which present examples of design elements and amenities that could be located in the front yard for the various products.

In addition to or as an alternate to low front yard privacy fencing on Liberty Loop Road, two (2) feet of landscape in front of homes will provide an important design element for landscape continuity. These two feet of landscape may contain a low hedge in front of a picket fence, or a combination of unifying design treatments.

For single-family dwellings, the following criteria shall be met:

- At least one (1) primary street tree shall be planted within the front yard (parkway) of each residential lot. Each street shall have a common primary street tree genus and species. Estate lots with a street frontage shall have a minimum of two (2) primary street trees per street frontage.
- At least one small-scale accent tree, in addition to the required primary (parkway) street tree, shall be planted within the front yard of each home site when the street frontage is greater than 45 feet.
- Trees shall be chosen from the Community Tree Palette (Table 10-1) and their ability to reinforce the neighborhood character and architectural theme. Ultimate mature size shall be considered to ensure the neighborhood scale is maintained.

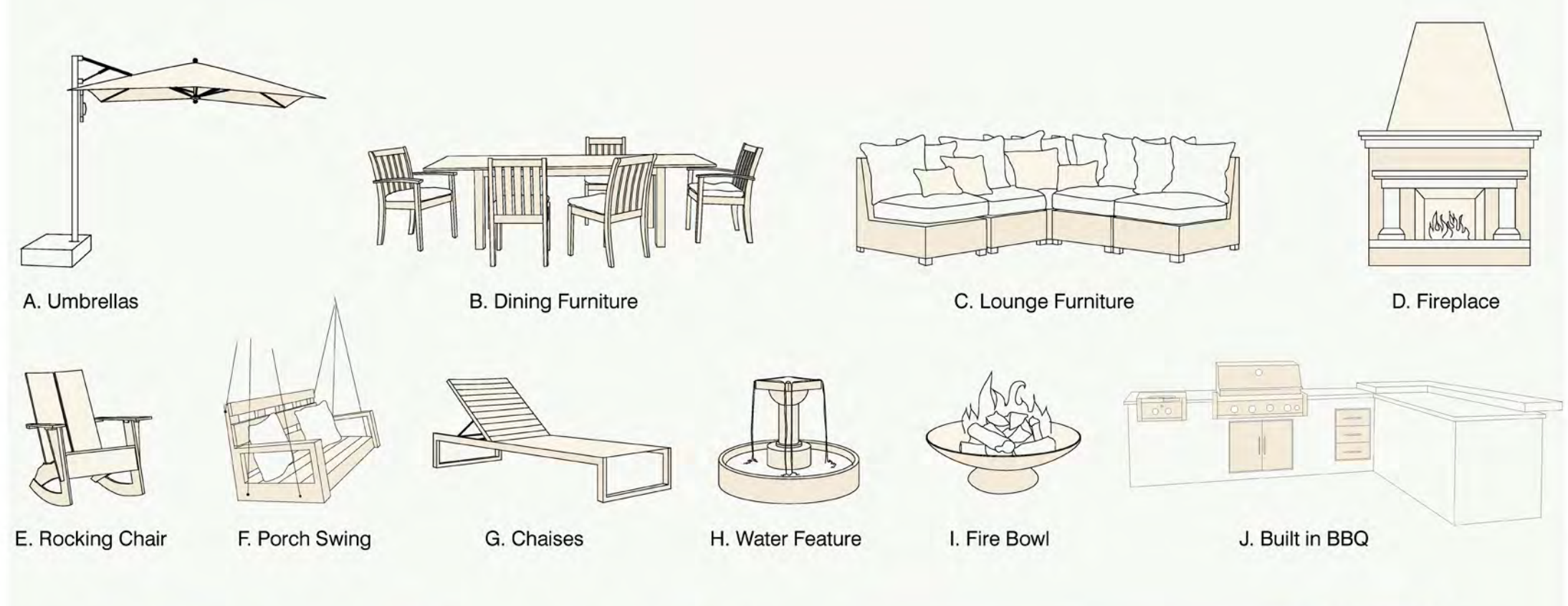
Primarily deciduous trees should be utilized to maximize summer shade and winter solar gain with the exception of roadways and sidewalks and perimeter landscaping shall be evergreen.

- To maintain a proper growing environment, all shrub and groundcover areas shall receive a 3” deep layer of bark mulch. Colored rock/gravel or large expanses of bark mulch are prohibited.
- A well-organized composition of 5-gallon and 1-gallon shrubs shall be used to landscape the front yard of each dwelling. Plants shall be selected and planted to provide a transition and layering effect as well as seasonal color and flower accents. All homebuilder provided front and corner lot side yards shall be landscaped with shrubs and groundcover to ensure a minimum of 80 percent coverage within three years of planting.
- No use of turf (lawn) shall be permitted on any residential lot.
- Enhanced paving of private sidewalks, driveways, and patios (within the livable front yards) is encouraged to reinforce the architectural character of each individual home. Paving materials such as interlocking pavers, small pebble exposed aggregate concrete, brick, stained and/or imprinted concrete are recommended.
- All plant material shall be selected for its ability to reinforce the neighborhood character, architectural theme, and scale of the space. A common street tree for each street and diverse accent trees shall be selected based upon adequate available space.
- Irrigation – All landscape shall be irrigated by an automatic water efficient/water conserving system.
- Rear yard landscapes shall have greater flexibility and allowances for individual expression. However, rear yard landscaping/improvements shall respect views as seen from adjacent public streets or any public vantage points. Trees shall be used to create space, provide shade, and minimize views into private spaces. Items such as trellises and sheds shall be set back from the property line and screened from view.
- Project street/ROW/green belts/open space/project perimeter trees shall be 24” box evergreen trees.

#### ii. Side Yard/Corner Home Site Landscaping

Residential landscape designs shall take advantage of the additional street frontage associated with side yards. The goal of the landscape within these spaces is to soften the visual impact of a home’s side yard elevation. To accomplish this, multiple, same species street trees shall be found at side yard/corner home site lots. Trees shall be carefully selected based on available space, neighborhood character, and upon the setback of the home site. Shrubs shall provide a buffer, transition, and defensible space between the home and the public sidewalk. The following criteria must be met:

- Vines shall be trained onto all masonry walls. Vines must be 5-gallon and at maximum spacing of 15 feet on center. Vines are strongly recommended on solid, full height fences.
- A minimum of two rows of shrubs shall be planted. Background shrubs shall be evergreen and a minimum of 5-gallon in size. Foreground shrubs shall be a minimum of 1-gallon in size. Based upon available space, groundcovers shall be provided. Shrubs and groundcovers shall be spaced appropriately to achieve a minimum of 80 percent coverage upon their ultimate spread.
- When vines are used, background shrubs may be eliminated. Foreground shrubs must be a minimum of 5-gallon in size if this option is chosen.
- Trees, shrubs, and groundcovers shall be selected for their ability to reinforce the neighborhood character, architectural theme, and scale of the space.



A. Umbrellas

B. Dining Furniture

C. Lounge Furniture

D. Fireplace

E. Rocking Chair

F. Porch Swing

G. Chaises

H. Water Feature

I. Fire Bowl

J. Built in BBQ

## EXH 10-3 DESIGN ELEMENTS OF A LIVABLE FRONT YARD

### Summary

Active front yards will invite residents to spend more time in the front, which will help encourage community interaction and activate the street scene.

Livable front yards are places of daily enjoyment and entertainment for residents. They are furnished with design features like outdoor dining furniture, lounge furniture, chairs, porch swings, chaises, water features, fire bowls, and fire places. Other design elements may include enhanced paving, low walls, built in BBQ's, sun umbrellas, rocking chairs, etc.



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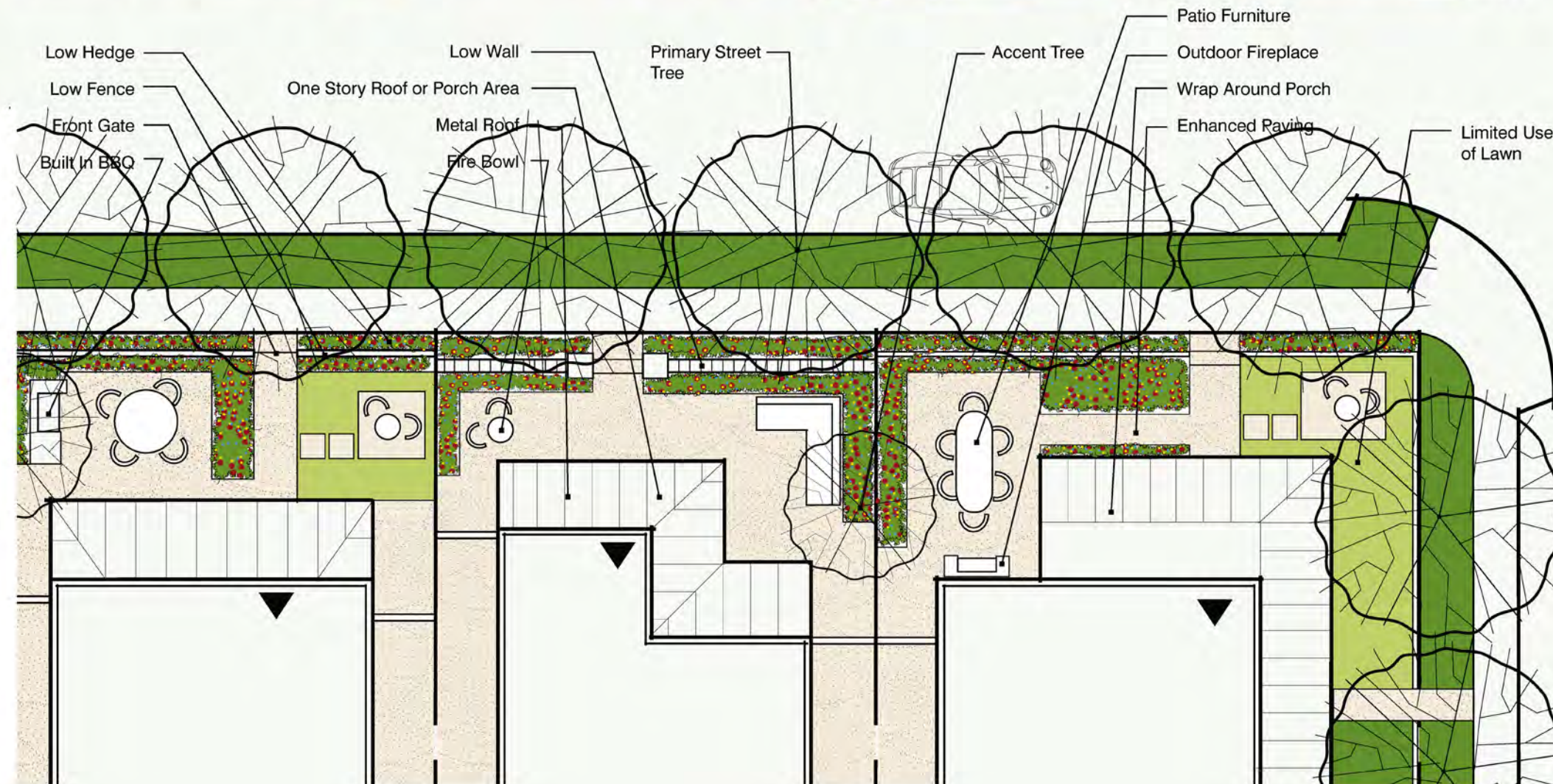


EXH 10-4  
**LIVABLE FRONT  
 YARD: 35'x100' ALLEY  
 LOAD SFR: EXAMPLE**

**Summary**

Livable front yards are planned for all Liberty homes. They will be usable spaces that animate residential streets and encourage interaction between residents by bringing activity to the front of the home rather than in the back yard.

Livable front yards in Liberty are designed with limited lawn area and may include front porches and patios, creative hardscape areas, dining and lounge furniture, fire bowls and outdoor fireplaces, built-in BBQ's, trellis' with climbing vines, and potted plants. A low fence and optional gate will delineate public and private space.



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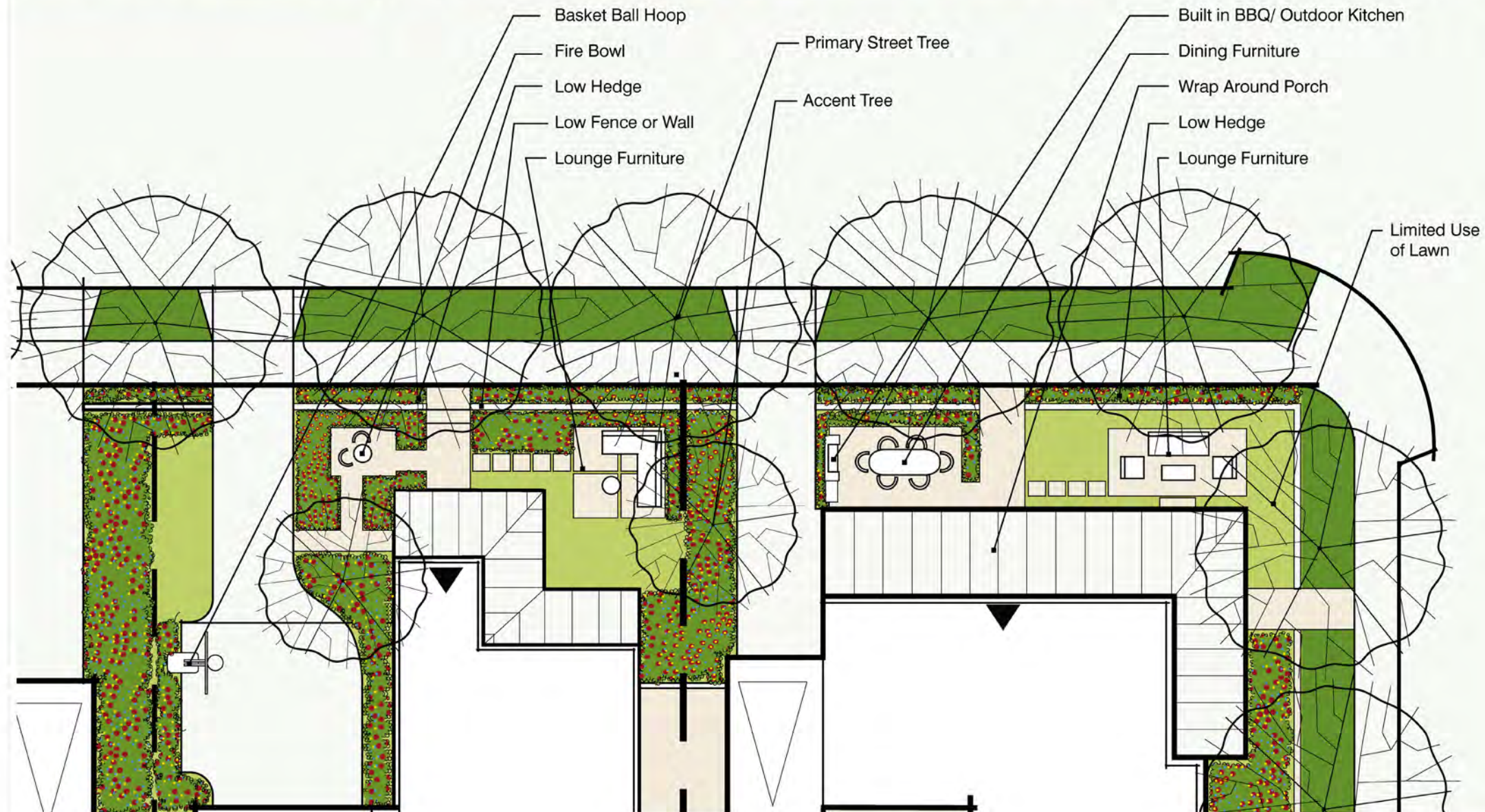
**EXH 10-5  
LIVABLE FRONT  
YARD: 60'x100' FRONT  
LOAD SFR: EXAMPLE**

**Summary**

Livable front yards are planned for all Liberty homes.

In addition to generous front porches, livable front yards of front loaded lots may also have recessed garages, garage pergolas with vines, limited use of lawn, creative hardscape areas, dining and lounge furniture, fire bowls and outdoor fireplaces, built in BBQ's, shade umbrellas, trellis' with climbing vines, potted plants, and water features. A low wall or fence will delineate public and private space.

Activities like basketball hoops are encouraged in driveways.



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- Street trees must be selected from the community tree palette and for their scale appropriateness upon residential lot size and location.
- Corner lots shall have two primary street trees (one tree per street frontage), not to interfere with shading of solar PV panel locations.
- Corner lots are required to have a minimum of one accent tree on the front door side of the corner lot.
- Irrigation – All landscape shall be irrigated by an automatic water efficient/ water conserving system.

## B. ESTATE LOT LANDSCAPING

The landscape architecture within Estate Lots presents a unique opportunity to reinforce the character of Liberty. Enhanced Estate Lot landscaping shall be designed in concert with the architectural character of each home and the uses within the residential lot (e.g., pool, pool house, patios, accessory dwelling unit, putting green, small fruit and/or nut orchard, small vineyard). Just as with other single-family residential lots, it is strongly encouraged that, where space permits, oak trees be incorporated into the landscape in support of a rural farmhouse interpretative and contemporary cottage character. Within Estate Lots located adjacent to Davis Road, a minimum of two (2) 24” box Valley Oak trees shall be planted along the southern property line adjacent to Davis Road. It will be the responsibility of the homeowner to care for the trees and ensure their long-term health.

## C. LANDSCAPING FOR MULTI-FAMILY RESIDENTIAL LAND USES

- Recreation areas within multi-family residential areas will contain amenities that add value to the lives of the residents. Such amenities could include pools, walking paths, seating areas, gardens, shade structures, and picnic/BBQing facilities.
- The landscaping within multi-family residential land uses shall reinforce the farmhouse interpretative and contemporary cottage character established for Liberty. The landscape shall be formally organized in composition to be reminiscent of agricultural planting patterns.
- Trees shall be planted in massing where space allows to mimic orchards or windrows common to agricultural patterns. Minimum tree size will be 24” box and larger and where building(s) requires softening. There shall be a mix of both evergreen and deciduous trees for seasonal variation and interest.
- Shrubs and groundcovers shall be selected for their ability to provide a framework and layering of evergreen and deciduous species with additional accent species to provide interest at key focal point areas. Sparse planting is prohibited.
- Private sidewalks shall be enhanced with materials or special finishing/score patterns to reinforce the pedestrian scale and character.
- Parking Lots – refer to item (D)(ii) Parking Area Design Standards.
- Irrigation – All landscape shall be irrigated by a water efficient/water conserving system.

## D. NON-RESIDENTIAL LAND USES

### i. The Commons

The formal and high-quality landscape design of The Commons shall reinforce the overarching farmhouse interpretative and contemporary cottage character of Liberty (see Exhibit 10-6, The Commons Concept

Plan). The site plan shall provide shaded pedestrian walkways and outdoor areas for people to gather, recreate, and relax. A dominant tree shall be selected with groupings of accent trees at building entries, patios, courtyard, and other places where people are anticipated to gather. Planting will highlight building entries, soften building edges, and provide scale. Evergreen and deciduous trees shall be used to enhance the architectural character and provide shade in the summer and sun in the winter.

Attention to detail is essential from the selection of elements and materials to their organization within a space. High-quality site furnishings that complement the farmhouse interpretive and contemporary cottage character shall be provided within each site. Those site furnishings will include parking lot and pedestrian light poles and bollards, planter pots, tables with umbrellas, chairs, benches, waste and recycling receptacles, art, bike racks, trellises, and pergolas.

## ii. Parking Area Design Standards

Where parking lots occur within Liberty, the following criteria shall be met:

- Provide clear pedestrian mobility pathways leading from the parking lot to building entrances. Pathways shall have enhanced paving to denote them as important systems. Accent trees shall be placed along each pathway to reinforce the system as well as to provide shade in the summer months. Design shall favor the pedestrian activity mobility over vehicular.
- Provide water conserving irrigation systems to manage water usage and ensure the efficient use of water. Deep watering practices for trees will be incorporated to encourage deep root growth and protect adjacent hardscapes.
- Landscape finger islands shall be provided at a ratio of 1 for every 10 parking stalls and shall be located evenly and consistently throughout the parking lot. Solar can be used in place of tree shades with appropriate groundcover/shrubs underneath structure and adjacent so as to not interfere with solar generation.
- Tree species are to be selected from the Community Tree Palette (Table 10-1) and for their ability to thrive in parking lot conditions. Providing shade is of vital importance. Large canopy shade trees shall be used within the parking lots, while smaller trees may be used near building or parking lot entrances.
- Minimum planting space for any tree is 8 feet by 8 feet, clear of low-profile landscaping.
- Shrubs and groundcovers should be selected for their ability to provide a framework as well as accent species to provide seasonal interest. Shrubs and groundcovers shall be formally organized in composition to be reminiscent of agricultural planting patterns.
- To minimize the view of parked cars, as seen from public streets and trails/sidewalks, all parking lots shall be surrounded by a low evergreen screen hedge as approved by the Police Department per CPTED standards. While this hedge is intended to minimize views of parked vehicles, it is important that the hedge not exceed 36" in height to ensure that natural surveillance can occur. Shrubs shall be at least 5-gallon size and shall be spaced to provide a continuous hedge within three years of planting.
- Utilities and trash enclosures shall be screened from public sight lines by walls, decorative fences, trellises, vines, and/or shrub massings. Because different utilities and fixtures require different

clearances for use, maintenance, and repair, screening hedges shall comply with each utility's specifications.

### **iii. Preservation of Existing Trees**

Existing trees within Liberty are considered an amenity and community asset so great care and consideration shall be given to preserve and protect them. As shown on Exhibit 10-7, Tree Preservation Plan, the Project is designed to preserve the approximately 371 existing healthy and mature trees to the maximum extent financially and physically feasible. This will be accomplished in part by location and design of greenbelts and parks. Generally, no improvement (other than a layer of bark mulch) shall occur beneath the canopy of an existing tree (within its critical root zone) that may jeopardize the tree's health. This includes and is not limited to grading, planting and irrigation, hardscape, walls, pools, driveways, and hanging items from a tree. However, it is recognized that there may be unique and isolated exceptions. Therefore, prior to any improvement within the critical root zone of an existing tree, a certified arborist and licensed landscape architect shall be consulted to first ascertain the tree's health and structure, and second critically evaluate if the proposed improvement will negatively affect the tree's health or structural integrity. The project shall comply with the City's Heritage Oak Tree Ordinance in the replacement of trees lost to development. Based upon the results of the analysis, limited improvements may occur if approved by the HOA and if deemed the improvements have no negative effect on the tree.

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# EXH 10-6 THE COMMONS CONCEPT PLAN

## Summary

The Commons lies at the heart of the community and will bring neighbors together to socialize, shop, play and relax.

Private amenities may include event and game rooms, HOA offices, a kitchen, and event room with outdoor space. Outdoor amenities will include pool, lap pool and hot tubs, cabanas, outdoor kitchen/BBQ area, fire pit, bocce ball court, restrooms, dog park, and the Liberty Orchard. There will also be on-site parking and a neighborhood commercial area.

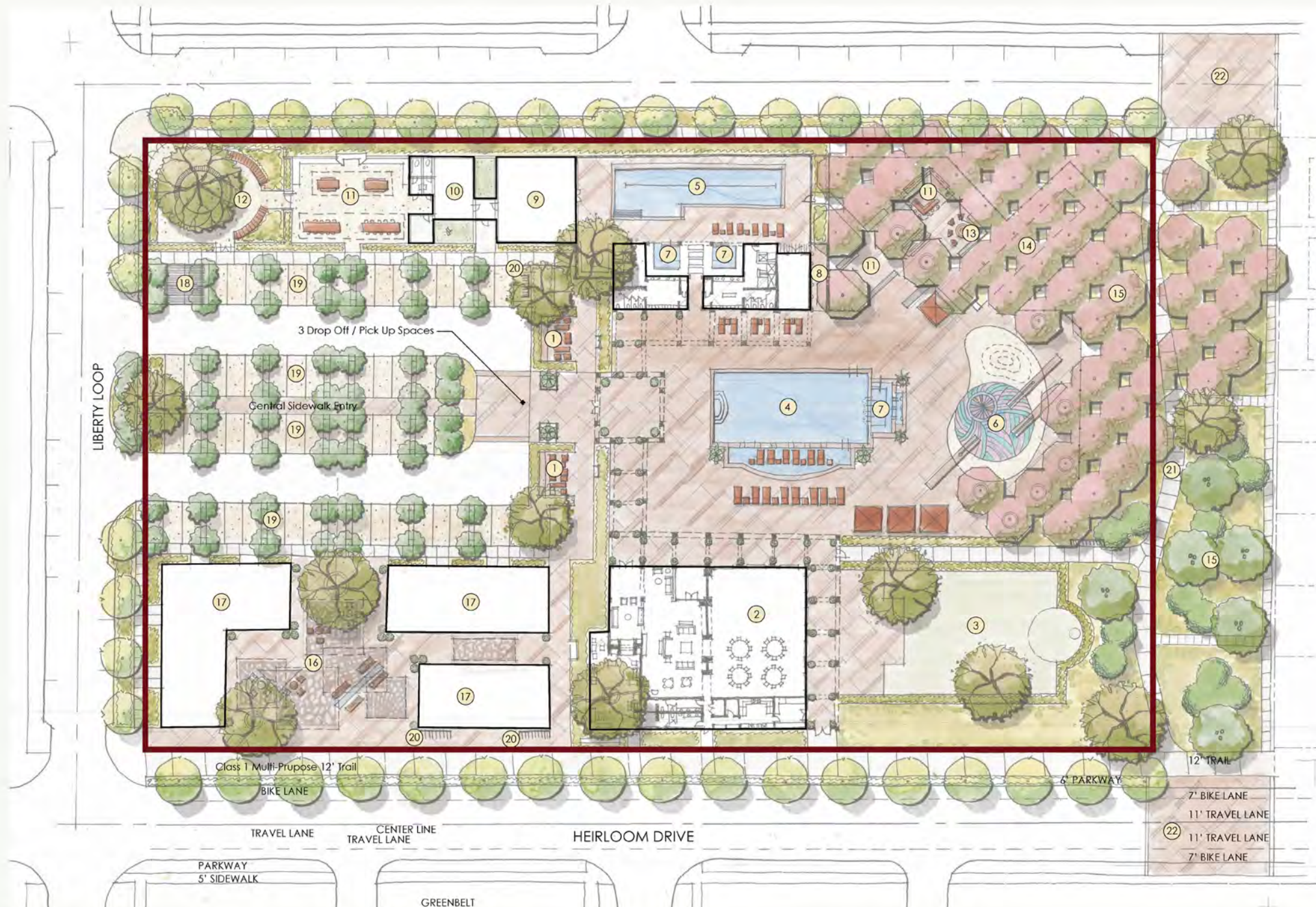
## Legend

 The Commons boundary

### NOTE:

- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

## Key Map



## Key

- |                       |                                |                          |                                    |                    |                         |
|-----------------------|--------------------------------|--------------------------|------------------------------------|--------------------|-------------------------|
| ① Entry Courtyards    | ⑤ Lap Pool                     | ⑨ Gym                    | ⑬ Fire Pit                         | ⑰ Retail Buildings | ⑳ North South Greenbelt |
| ② Multi-Purpose Room  | ⑥ Recirculated Water Play Area | ⑩ Yoga Room              | ⑭ Bocce Ball Court                 | ⑱ Waste Enclosure  | ㉑ Speed Table           |
| ③ Special Events Lawn | ⑦ Spas                         | ⑪ Outdoor Kitchen & BBQs | ⑮ Liberty Orchard                  | ⑲ Enhanced Paving  |                         |
| ④ Pool                | ⑧ Outdoor Showers              | ⑫ Dog Park               | ⑯ Neighborhood Commercial / Retail | ㉒ Bike Racks       |                         |

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# EXH 10-7 TREE PRESERVATION PLAN

## Summary

Great care was taken to preserve the existing 371 healthy mature trees by designing greenbelts, parks and larger lots around them. To the maximum extent physically and financially feasible existing trees will be preserved in place. Thousands of new trees will be planted within the community. Refer to Section 10, *Landscape Design Guidelines*.

**NOTE:**

- All acreages are approximate and includes public rights-of-way.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

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## 10.3 STREETSCAPE DESIGN STANDARDS

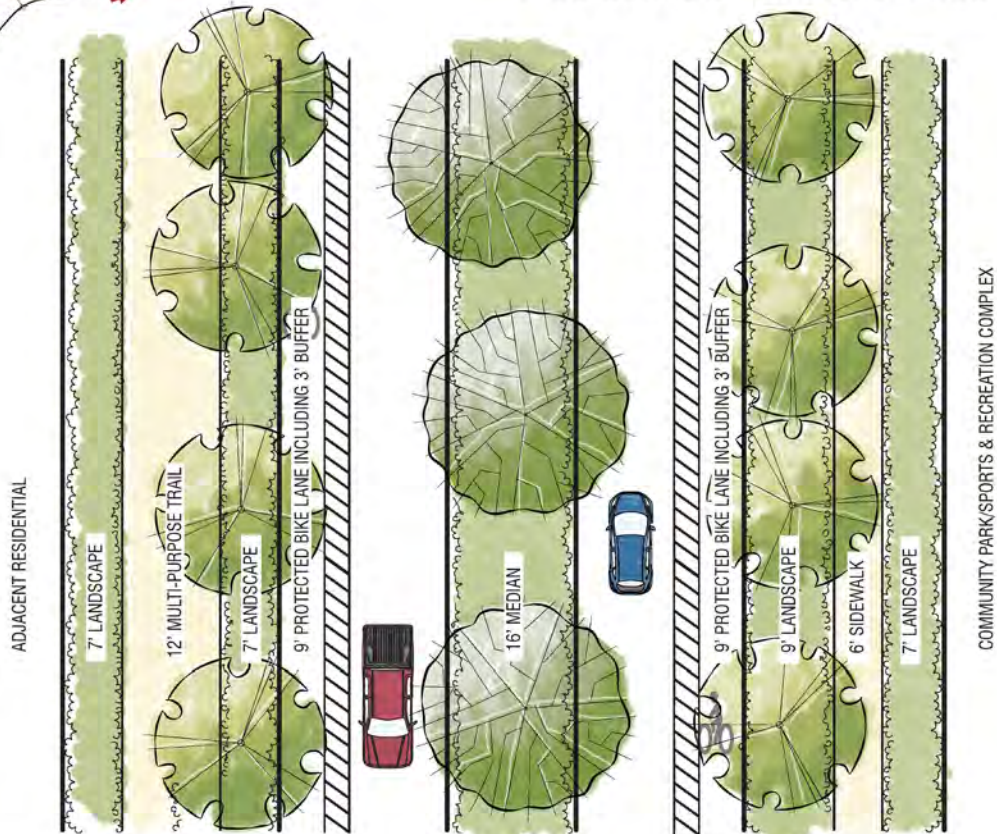
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The landscape or streetscape environment within Liberty shall be designed to support the hierarchy established by each roadway type/classification/use. The streetscape environment shall be designed based upon the roadway's character, travel speed, and right-of-way width. The sidewalk and trail material types, along with the selection of street trees will help provide shade and scale, and the understory landscape plant palette will help to create unique, attractive, and pedestrian scale appropriate environments. Streets shall be formally landscaped to strengthen the community's overarching farmhouse interpretive and contemporary cottage identity and character. Planting trees, which will one day become majestic tree canopies lining the streets and greenbelts, will create beautiful and intimate neighborhoods that support walking, bicycling, and interacting with neighbors. By design, arterial and collector roadways will have a greater density of trees and understory plantings; neighborhood streets (with wider residential lots) will have both a primary (parkway) street tree and a secondary accent tree; smaller residential lots (with narrow widths) may only permit a primary (parkway) street tree. Formally landscaped roundabouts will add distinct focal points as visual markers. Exhibit 10-8, Streetscape A – Village Parkway (A1); Exhibit 10-9, Streetscape B – Collector Roads (B1); Exhibit 10-10, Streetscape C – Stonegate Drive (C2); Exhibit 10-11, Streetscape D – Local Roads (D1); Exhibit 10-12, Streetscape E – Local Roads – Parking One Side (E2); Exhibit 10-13, Streetscape F – Liberty Loop (F1); Exhibit 10-14, Streetscape G – Alleys (G1 & G2); Exhibit 10-15, Streetscape H – Davis Road; and Exhibit 10-16, Streetscape I – Linden Road, present the streetscape for the various roads. Exhibit 10-2, Community Street Tree Master Plan, specifies standards for the location and types of trees to be used within Liberty.

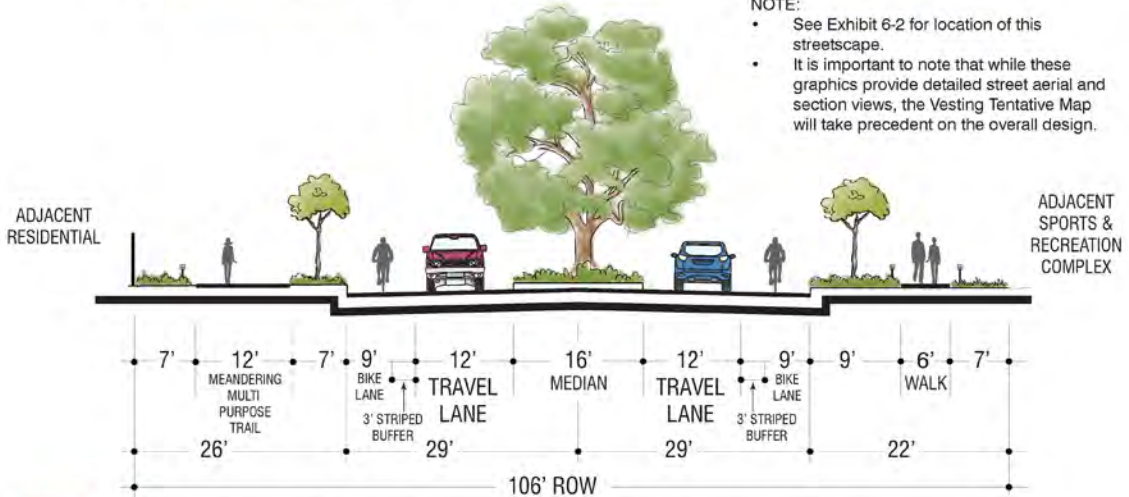
Alleys within Liberty have been designed to be clean, efficient, safe, and activated spaces where activities such as basketball, hop-scotch or four-square may be played. Refer to Exhibit 10-17, Design Elements of Integrated Alleys; Exhibit 10-18, Integrated Alleys (35' X 100' SFD), and Exhibit 10-19, Integrated Alleys (60' X 100' SFD). Garages that face onto the alleys shall be tastefully detailed to include enhanced materials, finishes, and colors such as garage door pergolas with trailing vines. Within the integrated alley and along each homes' property line, enhanced fences or walls with lockable gates shall be provided. Landscaping within the integrated alleys shall play an integral role by providing aesthetics, scale, as well as defensible space. Low growing shrubs and groundcovers will soften the appearance of the integrated alleys, and screen utilities while not allowing people to hide. Small to medium scale trees shall be used for aesthetics and scale, but trees shall not be planted where they will interfere with required roof top PV panels.

# EXH 10-8 STREETSCAPE A VILLAGE PARKWAY (A1)

KEY MAP



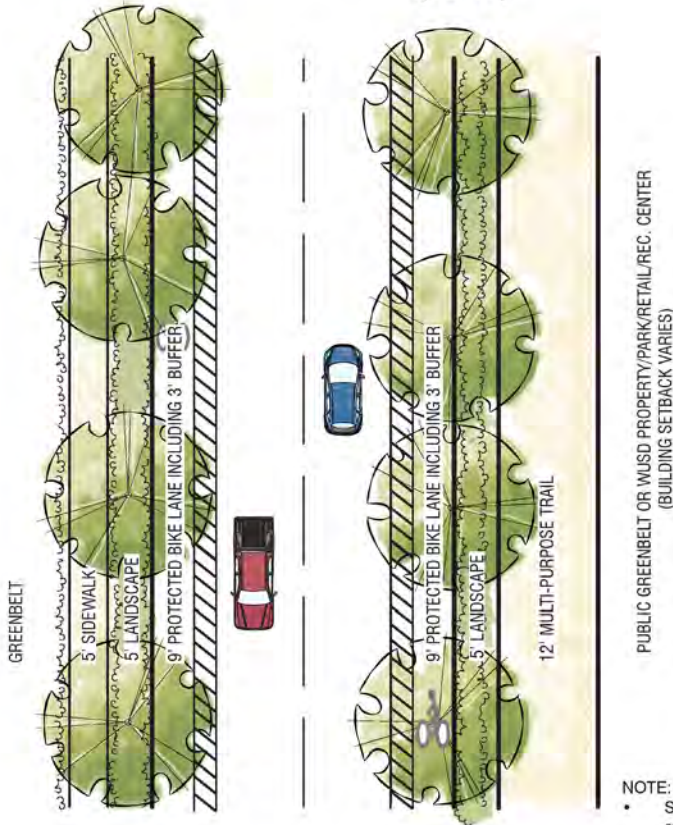
- NOTE:
- See Exhibit 6-2 for location of this streetscape.
  - It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.



**A1** Village Parkway / 2-Lane Divided Arterial, 106' Right-Of-Way

# EXH 10-9 STREETSCAPE B COLLECTOR ROADS (B1)

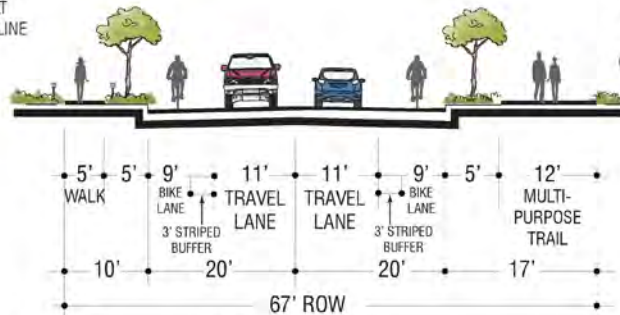
KEY MAP



**NOTE:**

- See Exhibit 6-3 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

PUBLIC GREENBELT WITH MATURE TREE LINE

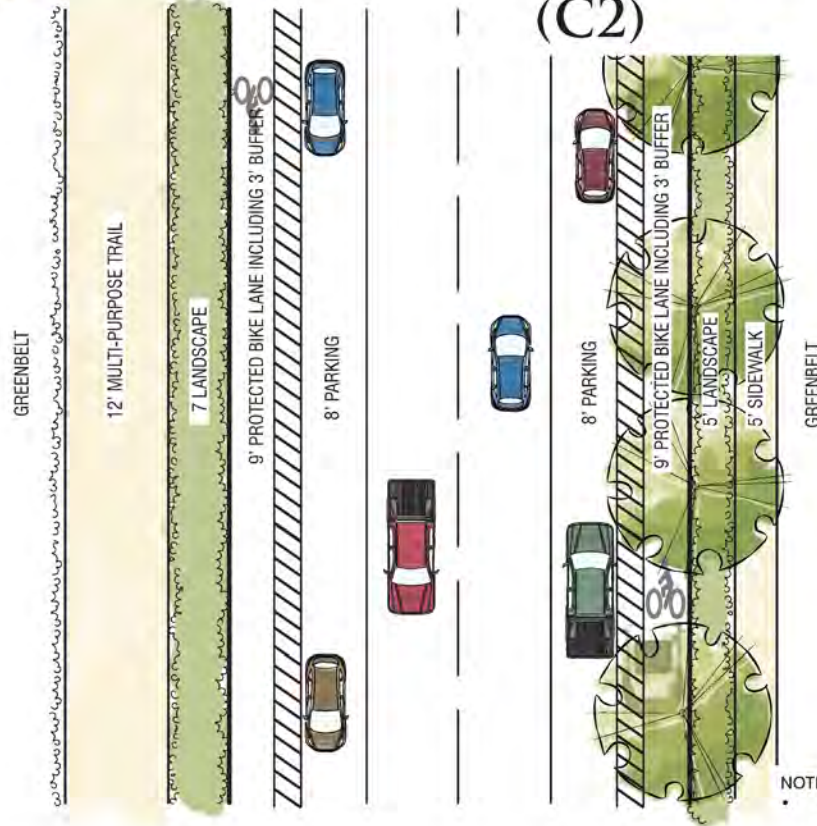


PUBLIC GREENBELT OR WUSD PROPERTY/ PARK / RETAIL / REC. CENTER (BUILDING SETBACK VARIES)

**B1** Collector, Bike Lanes and Adjacent Trail

# EXH 10-10 STREETSCAPE C STONEGATE DRIVE (C2)

KEY MAP



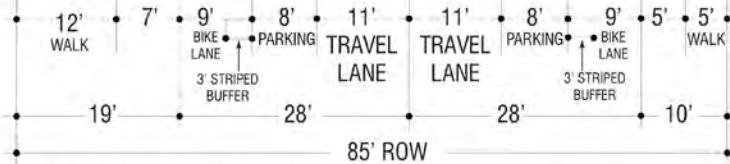
**NOTE:**

- See Exhibit 6-4 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

60' WIDE PUBLIC GREENBELT & RESIDENTIAL FRONT ENTRIES (BUILDING SETBACK VARIES)



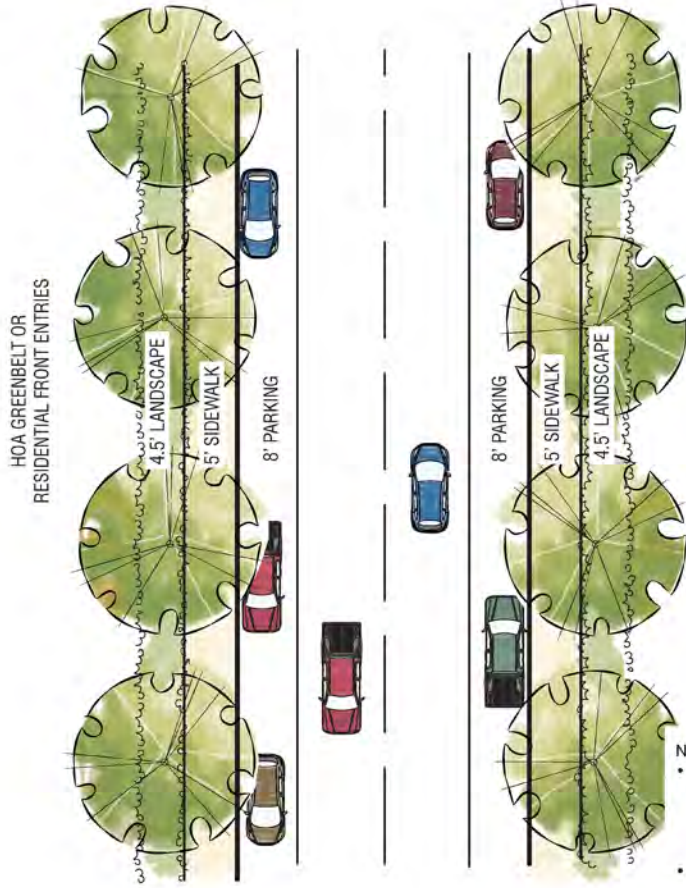
PUBLIC GREENBELT OR RESIDENTIAL FRONT ENTRIES (BUILDING SETBACK VARIES)



**C2** Collector, Bike Lanes, On-Street Parking and Adjacent Trail (Stonegate Dr.)

# EXH 10-11 STREETSCAPE D LOCAL ROADS (D1)

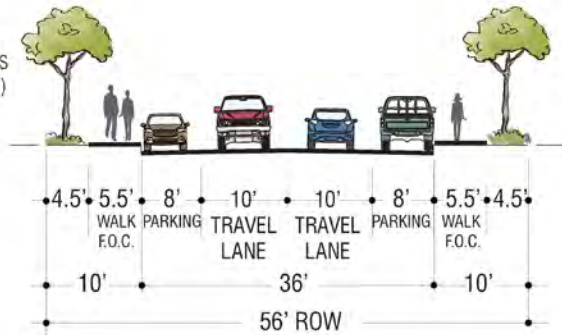
KEY MAP



**NOTE:**

- Sidewalk width is always 5.0 feet clear or 5.5 feet to the face of curb (F.O.C.) when curb adjacent unless stated otherwise.
- See Exhibit 6-5 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

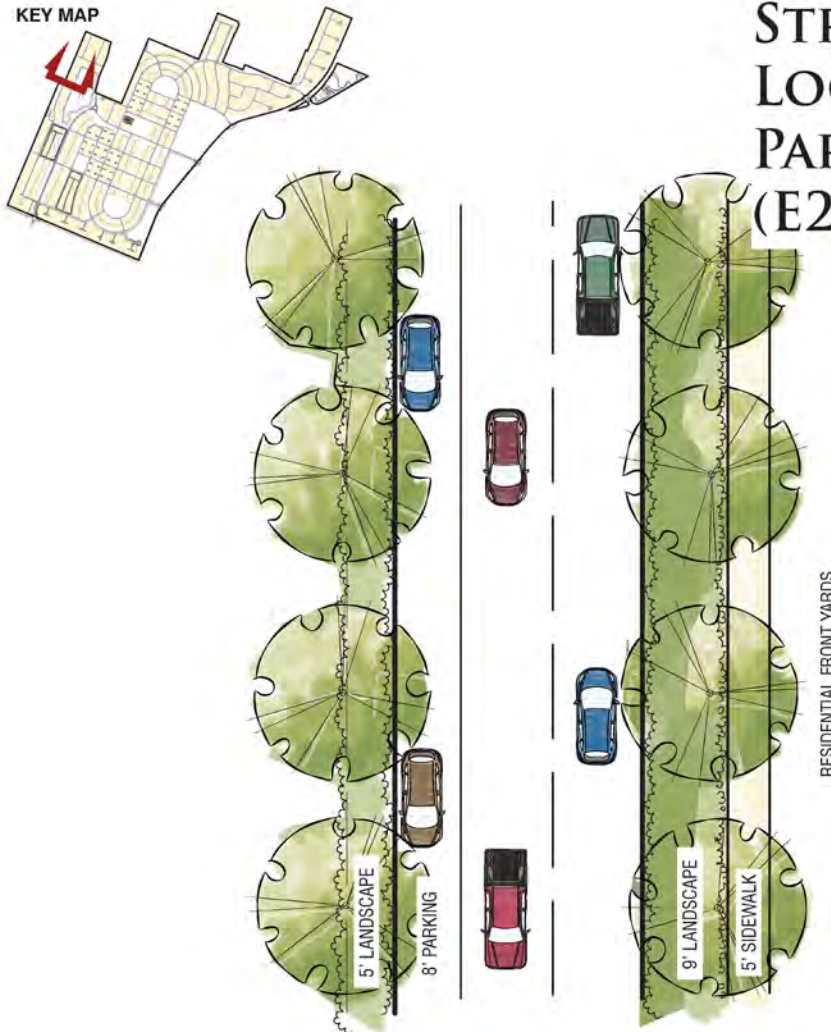
HOA GREENBELT OR  
RESIDENTIAL FRONT ENTRIES  
(BUILDING SETBACK VARIES)



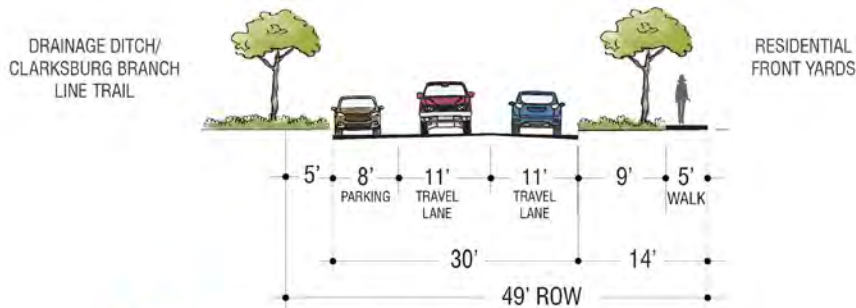
HOA GREENBELT OR  
RESIDENTIAL FRONT ENTRIES  
(BUILDING SETBACK VARIES)

**D1** Local Road

# EXH 10-12 STREETSCAPE E LOCAL ROADS - PARKING ONE SIDE (E2)



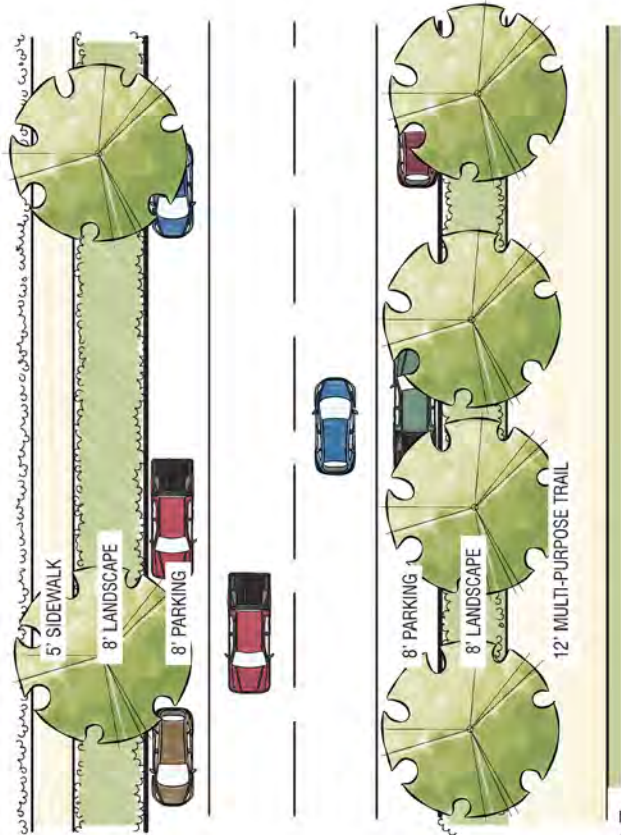
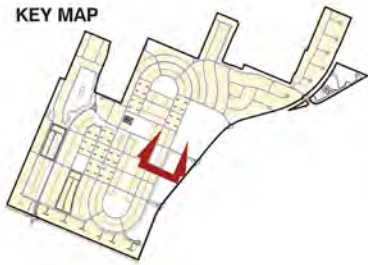
- NOTE:
- See Exhibit 6-6 for location of this streetscape.
  - It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.



**E2** Local Road - Parking One Side

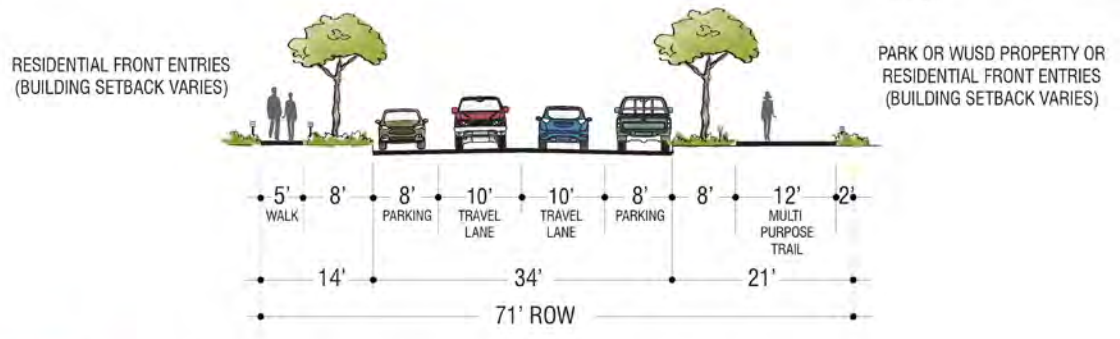


# EXH 10-13 STREETSCAPE F LIBERTY LOOP (F1)



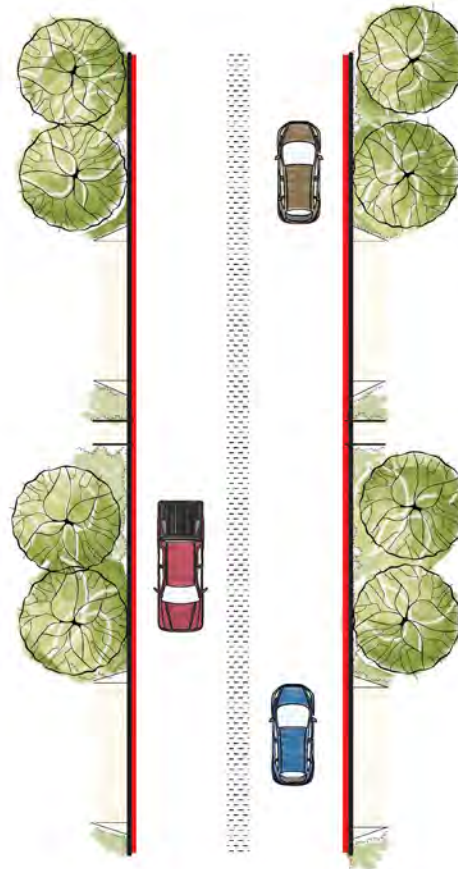
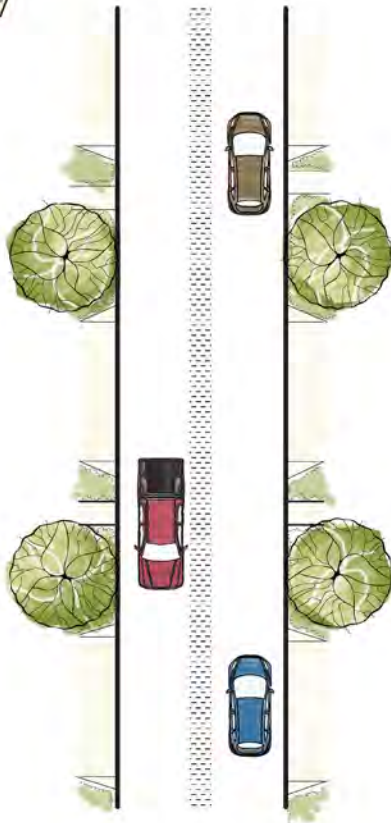
**NOTE:**

- See Exhibit 6-7 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.



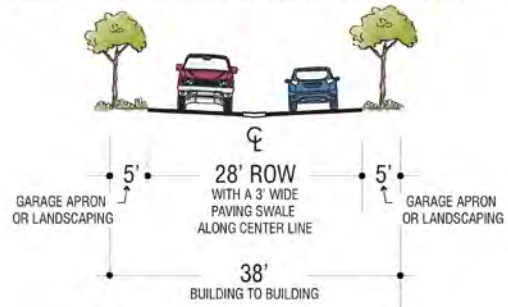
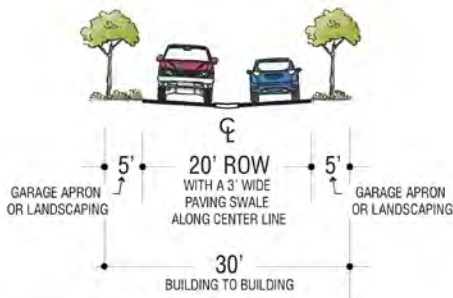
**F1** Enhanced Local Road (Liberty Loop)

# EXH 10-14 STREETSCAPE G ALLEYS (G1 & G2)



**NOTE:**

- See Exhibit 6-8 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

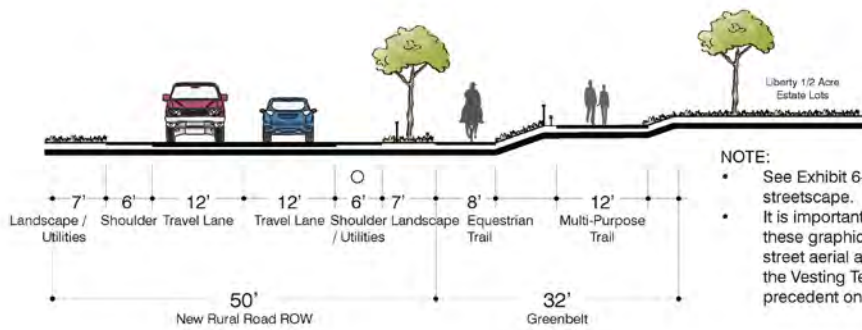
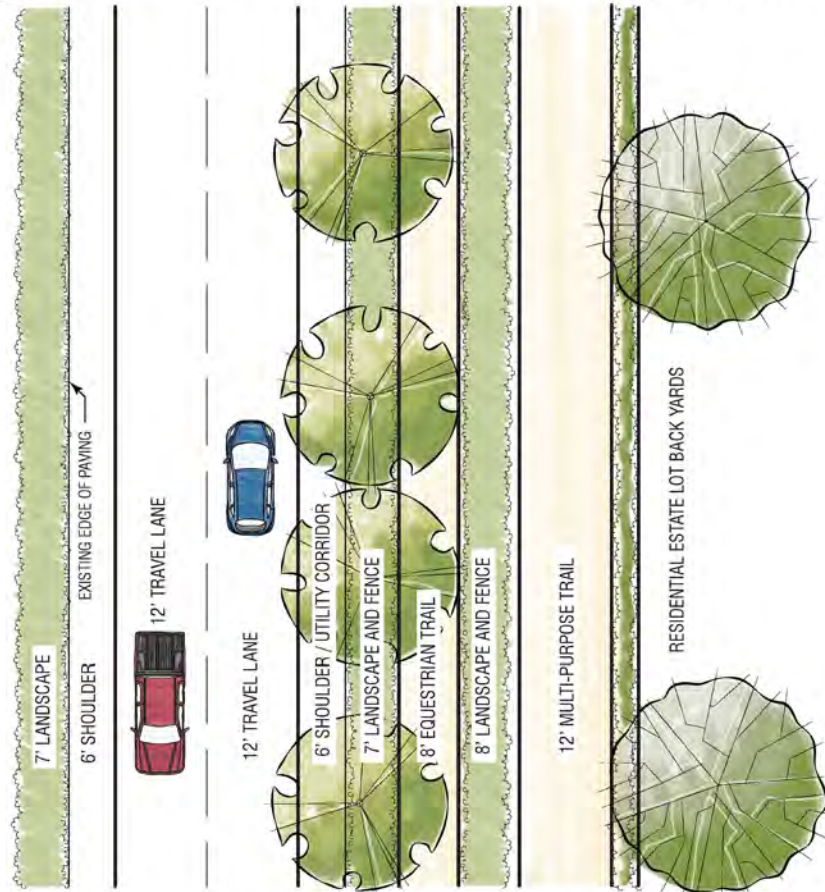


**G1** Integrated Alley - No Parking Typical  
No Red Curbs

**G2** Alley - Fire Lane - No Parking  
Contains Red Curbs

# EXH 10-15 STREETSCAPE H DAVIS ROAD

KEY MAP

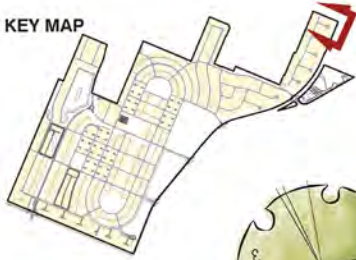


**NOTE:**

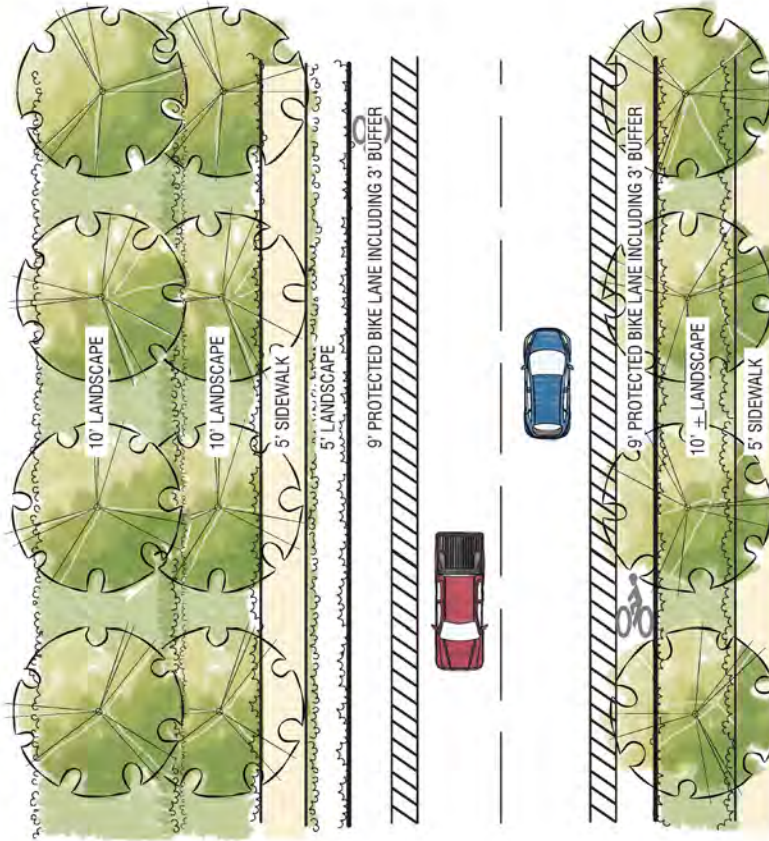
- See Exhibit 6-9 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

**H** Davis Road / 2-Lane Rural Road, 50' Right-Of-Way

KEY MAP



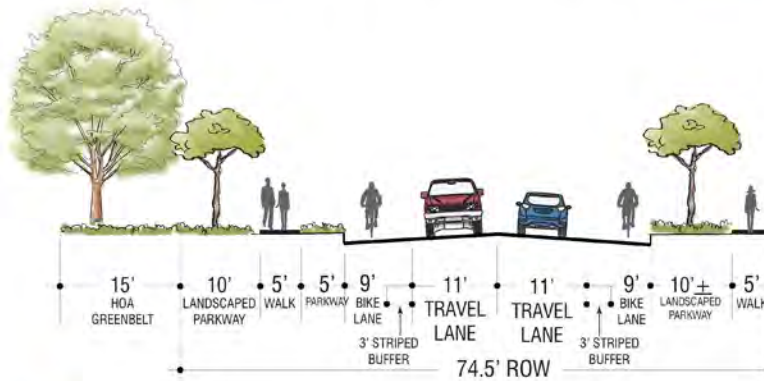
# EXH 10-16 STREETSCAPE I LINDEN ROAD



NOTE:

- See Exhibit 6-9 for location of this streetscape.
- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Map will take precedent on the overall design.

LIBERTY RESIDENTIAL  
SIDE AND BACKYARDS



RESIDENTIAL BACKYARDS

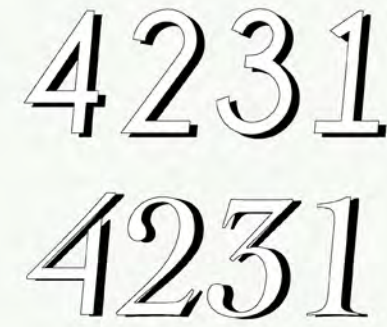
## I Linden Road



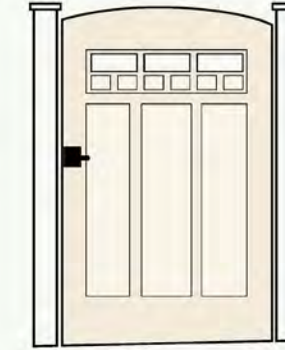
A. Farmhouse Interpretive or Contemporary Cottage Style Garage Doors



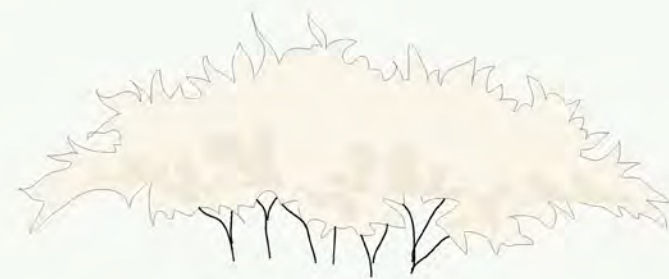
B. Garage Trellis with Vines



C. Illuminated Address Numbers



D. Decorative and Lockable Side Yard Gates



E. Low Plantings



F. Architectural Lighting



G. Small Trees

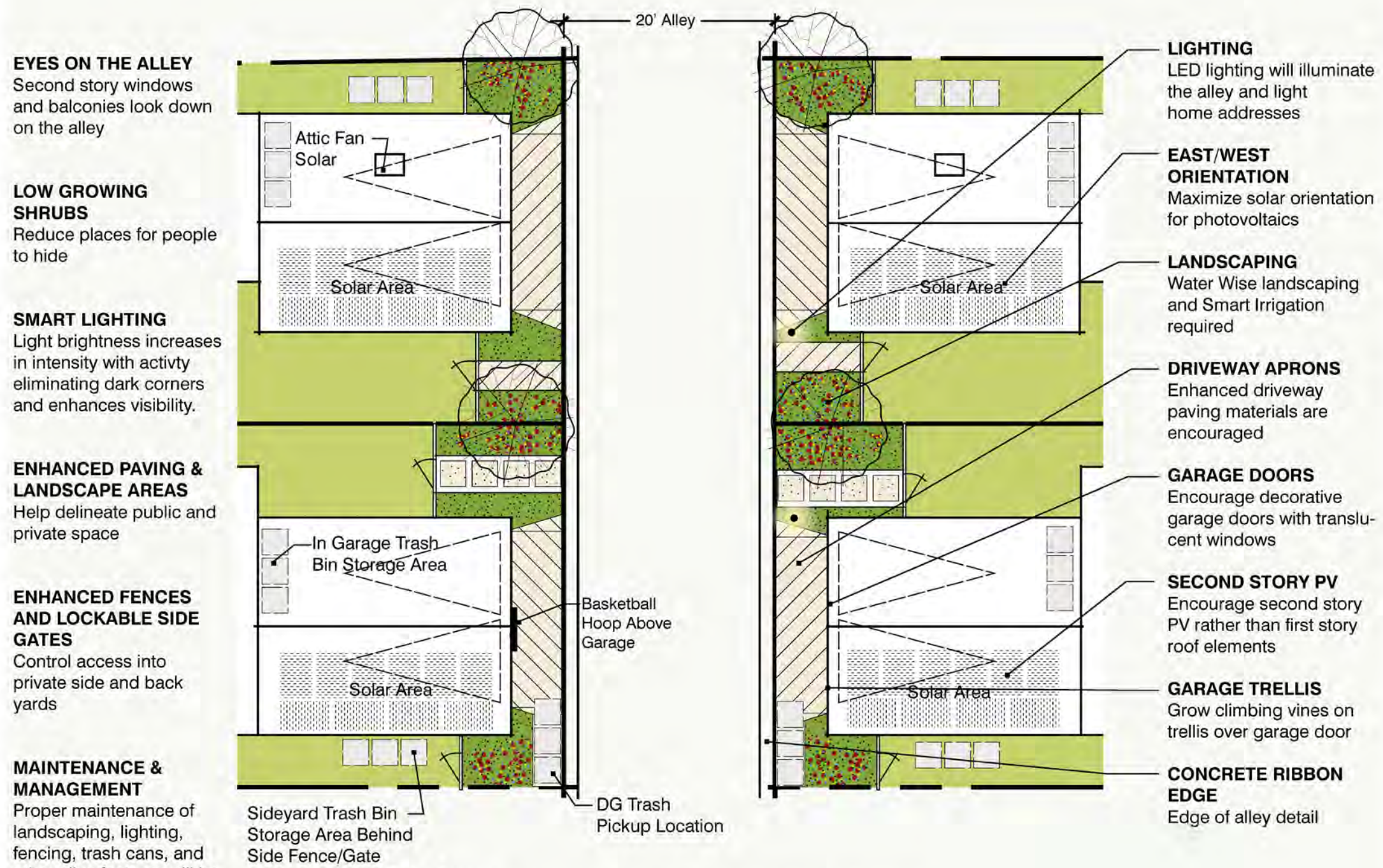
EXH 10-17  
**DESIGN ELEMENTS  
 OF INTEGRATED  
 PUBLIC ALLEYS:  
 SAFE & GREEN**

**Summary**

Integrated public alleys are thoughtfully designed to be clean, efficient, safe and green spaces. Garages are set back 5' from the alley. Common landscape elements found in the alley include garage door pergolas with vines, small water wise trees, and low plantings. Architecture on the alley will be consistent with the farmhouse interpretive and contemporary cottage architecture themes. Architectural LED lighting will illuminate the alley and street addresses. Lockable side yard gates delineate private space. Alleys may be activated by uses like basket ball hoops above garages, hop scotch, and four square.



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**EYES ON THE ALLEY**  
Second story windows and balconies look down on the alley

**LOW GROWING SHRUBS**  
Reduce places for people to hide

**SMART LIGHTING**  
Light brightness increases in intensity with activity eliminating dark corners and enhances visibility.

**ENHANCED PAVING & LANDSCAPE AREAS**  
Help delineate public and private space

**ENHANCED FENCES AND LOCKABLE SIDE GATES**  
Control access into private side and back yards

**MAINTENANCE & MANAGEMENT**  
Proper maintenance of landscaping, lighting, fencing, trash cans, and other alley features will be enforced by CC&R's

**Solar Access**  
Small trees may be used in alley landscaping but must be planted to avoid shading PV panels.

**Gated Side Yards**  
Side yards must be enclosed with fences or walls and lockable gates.

**Parking**  
No parking in alleys

**LIGHTING**  
LED lighting will illuminate the alley and light home addresses

**EAST/WEST ORIENTATION**  
Maximize solar orientation for photovoltaics

**LANDSCAPING**  
Water Wise landscaping and Smart Irrigation required

**DRIVEWAY APRONS**  
Enhanced driveway paving materials are encouraged

**GARAGE DOORS**  
Encourage decorative garage doors with translucent windows

**SECOND STORY PV**  
Encourage second story PV rather than first story roof elements

**GARAGE TRELLIS**  
Grow climbing vines on trellis over garage door

**CONCRETE RIBBON EDGE**  
Edge of alley detail

**EXH 10-18**  
**INTEGRATED PUBLIC ALLEYS: SAFE & GREEN**  
**35'x100' SFD: EXAMPLE**

**Summary**  
Liberty integrated public alleys are carefully designed to be safe, pleasant and productive areas within the community. Some key features include:

**Solar Optimization**  
The north/south alley orientation maximizes photovoltaic exposure on the rear of the homes. Solar potential is protected by prohibiting large canopy trees or structures that shade solar access near the alleys.

**Wind Orientation**  
The alley orientation will capture the prevailing summer delta breezes helping to cool the area by as much as 15 degrees.

**Lighting**  
Alleys will have efficient LED lighting to ensure visibility and eliminate dark areas. Address signs will also be illuminated.

**Landscaping, Walls & Fences**  
Thoughtful water wise landscaping and enhanced wall & fence designs give the alleys a clean look and help define private and public space.

**Eyes on the Alleys**  
Alleys may be activated with activities such as basketball, 4-square, and hop scotch. Garage door windows, second story windows, and balconies look down on the alleys.

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**EYES ON THE ALLEY**  
Second story windows and balconies look down on the alley

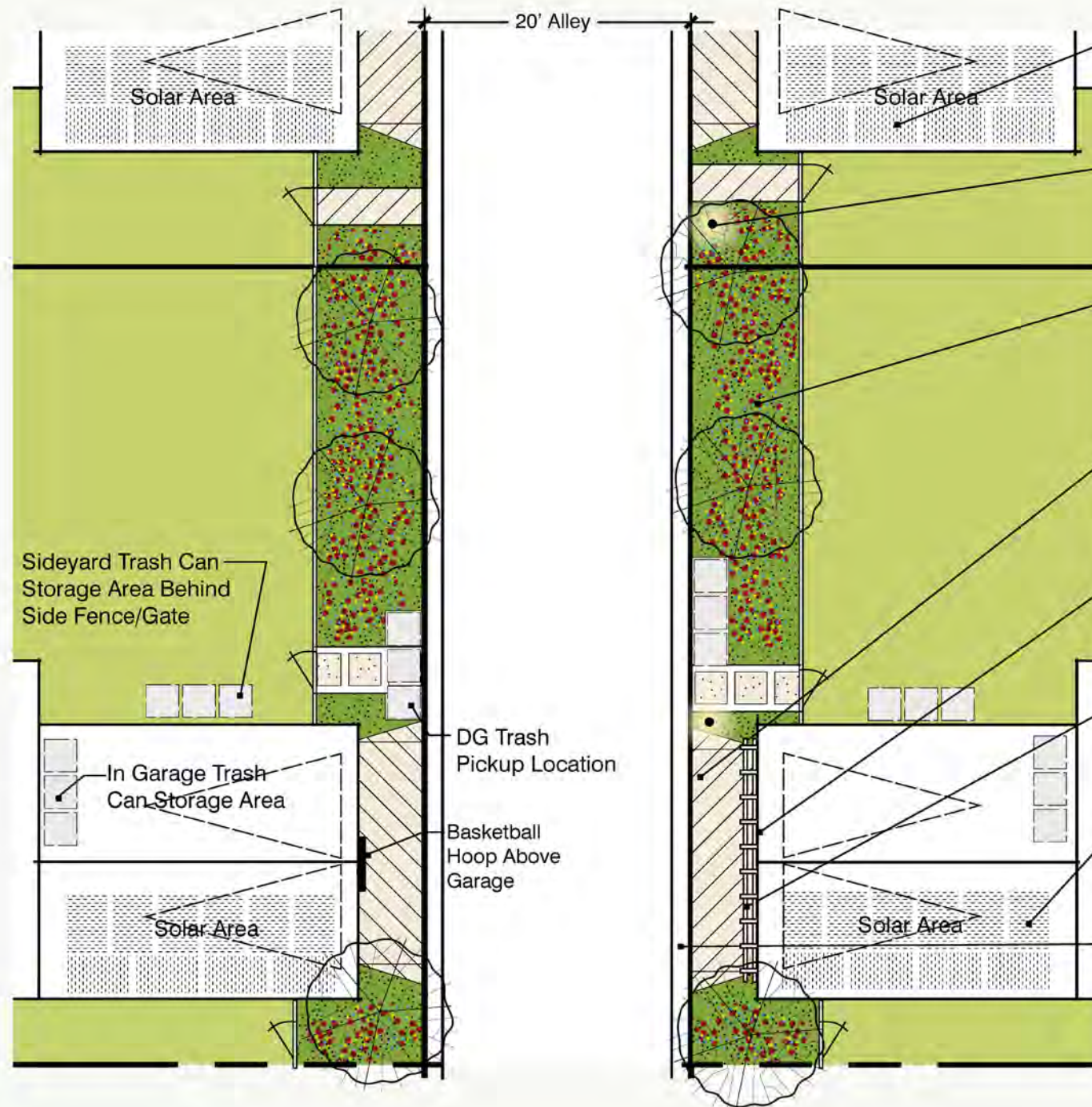
**LOW GROWING SHRUBS**  
Reduce places for people to hide

**SMART LIGHTING**  
Light brightness increases in intensity with activity eliminating dark corners and enhances visibility.

**ENHANCED PAVING & LANDSCAPE AREAS**  
Help delineate public and private space

**ENHANCED FENCES AND LOCKABLE SIDE GATES**  
Control access into private side and back yards

**MAINTENANCE & MANAGEMENT**  
Proper maintenance of landscaping, lighting, fencing, trash cans, and other alley features will be enforced by the CC&R's



**EAST/WEST ORIENTATION**  
Maximize solar orientation for photovoltaics

**LIGHTING**  
LED lighting will illuminate the alley and light home addresses

**LANDSCAPING**  
Water Wise landscaping and Smart Irrigation required

**DRIVEWAY APRONS**  
Enhanced driveway paving materials are encouraged

**GARAGE DOORS**  
Encourage decorative garage doors with translucent windows

**GARAGE TRELLIS**  
Grow climbing vines on trellis over garage door

**SECOND STORY PV**  
Encourage second story PV rather than first story roof elements

**CONCRETE RIBBON EDGE**  
Edge of alley detail

**Solar Access**  
Small trees may be used in alley landscaping but must be planted to avoid shading PV panels.

**Gated Side Yards**  
Side yards must be enclosed with fences or walls and lockable gates.

**Parking**  
No parking in alleys

## EXH 10-19 INTEGRATED PUBLIC ALLEYS: SAFE & GREEN 60'X100' SFD: EXAMPLE

### Summary

Liberty integrated public alleys are carefully designed to be safe, pleasant and productive areas within the community. Some key features include:

#### Solar Optimization

The north/south alley orientation maximizes photovoltaic exposure on the rear of the homes. Solar potential is protected by prohibiting large canopy trees or structures that shade solar access near the alleys.

#### Wind Orientation

The alley orientation will capture the prevailing summer delta breezes helping to cool the area by as much as 15 degrees.

#### Lighting

Alleys will have efficient LED lighting to ensure visibility and eliminate dark areas. Address signs will also be illuminated.

#### Landscaping, Walls & Fences

Thoughtful water wise landscaping and enhanced wall & fence designs give the alleys a clean look and help define private and public space.

#### Eyes on the Alleys

Alleys may be activated with activities such as basketball, 4-square, and hop scotch. Garage door windows, second story windows, and balconies look down on the alleys.

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## 10.4 COMMUNITY EDGE TREATMENTS

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There are distinct community edge treatments within Liberty, each designed to respond to the unique site conditions between Liberty and the adjacent land uses. When improvement plans are prepared for these areas, not only shall CPTED principles be followed respecting public and private space, but also ensuring visibility and defensible space through the selection of plant material, width, and alignment of greenbelts/trials, as well as the height and materials of fences or walls to maintain “eyes on” spaces.

### 10.4.1 NORTH EDGE

---

The north edge of Liberty is defined by an enhanced landscape buffer that will include a trail system sensitively designed beneath the existing trees. The north edge treatment provides three unique opportunities: (1) the preservation of mature trees, (2) a “soft” and aesthetic landscape buffer to the existing homes to the north, and (3) an east/west bike and pedestrian mobility system, as shown on Exhibit 10-20, Community Edge Treatment #1, Exhibit 10-21, Community Edge Treatment #2, and Exhibit 10-22, Community Edge Treatment #3. The treatment of this area shall ensure that the existing trees are not compromised. The integration of a trail system within a greenbelt will encourage the residents of Liberty to traverse and explore their community outside of their automobiles. Benches as “rest stops” will be placed along the trail system, no noise producing active recreational uses shall be found. The selection and location of shrubs and groundcovers shall not create unsafe spaces; CPTED principles shall be woven into the design of these spaces. A 12-foot Class 1 multi-purpose trail, with a conjunctive use for maintenance by RD-900, along with tables and benches, viewing outlooks, and educational signage shall be provided along the perimeter of the NC-10 Stormwater Detention Basin.

### 10.4.2 EAST EDGE

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The east edge is defined by Village Parkway, which separates Liberty from the WSAFCA area, the Sacramento River, and the levee system. Trees within the Village Parkway ultimate developed right-of-way shall be placed to provide a uniform and consistent tree canopy (all evergreen trees). Along the west side of Village Parkway there will be sound walls (along the gated Estate Lots, 60' X 100' front loaded products to the south, and the Estate Lots adjacent to Davis Road) designed to cohesively blend with the landscape. The understory landscape design treatment within Village Parkway (median and east side) will act as a transitional space where the formality of Liberty’s landscape design is softened to be more naturalistic in appearance, blending into the levee system’s naturalized landscape environment. This will be accomplished by the arrangement of informal groupings of more native or native-appearing shrubs and groundcovers.

### 10.4.3 SOUTH EDGE

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The south edge is a unique opportunity to respect the existing rural residential and agricultural land uses. Along the southern edge and within the new Estate Lots north of Davis Road, the landscape environment will be rural in character, where a prefabricated concrete split rail or low wood fence and a taller enhanced wood fence (on the property line of Estate Lots) along with informal groves of Valley Oak trees shall be provided (see Exhibit 10-23, Community Edge Treatment #4 – Davis Road). Within each new Estate Lot adjacent to Davis Road, a minimum of two (2), 24” box Valley Oak trees shall be planted along the southern

property line. It will be the homeowner's responsibility (with HOA oversight) to care for the Valley Oak trees to ensure that the trees remain in a healthy and thriving condition.

Along Davis Road, a Class 1 multi-purpose trail along with plant material for both interest as well as to establish defensible space, shall be provided. These plantings are subject to City approval as they are within the ROW of Davis Road. Where feasible, accent trees shall be provided along the trail yet shall not create canopy conflict with the Valley Oak trees which are to be planted within each adjacent Estate Lot.

#### 10.4.4 WEST EDGE

The west edge is defined by the Clarksburg Branch Line Trail (CBLT), which is a segment of The Great California Delta Trail system. Refer to Exhibit 10-24, Clarksburg Branch Line Trail. The trail is a key and instrumental pedestrian and bike mobility system allowing residents of Liberty to travel north and south to destinations such as the River City High School and Recreation Center, as well as the Southport Town Center, both to the north. Fast-growing trees will be planted in the gap parallel to the existing tree buffer adjacent to the Clarksburg Branch Line Trail, as shown in Exhibit 10-20, Community Edge Treatment #1. The species, location, and size of the trees will be determined by Liberty during Phase 2 construction. Landscape treatments along the trail will be designed to City Landscape Design standards and in accordance with City's Bike Trails Master Plan.

### 10.5 TRAIL DESIGN STANDARDS

An extensive trail system within Liberty promotes an alternative, comfortable, attractive, and "low stress" mode of transportation for residents. Where shown and as designed, trails shall connect neighborhoods within Liberty and join the Clarksburg Branch Line Trail. Along the trails within Liberty, benches shall be located at "rest stops" where riders/walkers and users alike can rest and socialize. A key attribute of the trails is that they offer students a safe and aesthetic route to and from school with minimal road crossings. The trails will also allow residents convenient connections to Liberty's Commons, as well as parks found throughout Liberty. Refer to Exhibit 6-11, Pedestrian Mobility, for more detailed information. All trails and the associated landscape environment shall be designed to CPTED principles as discussed in Section 12. At no time shall a trail be designed or maintained in a manner that does not support CPTED.

#### 10.5.1 SIDEWALKS AND BIKE TRAILS

Concrete sidewalks and Class I bicycle paths will be included in the street system within the public right-of-way, as shown on previous Exhibit 6-12, Low-Stress Bikeways. Sidewalks shall be a minimum of 5 feet wide and bike pathways should be range from 5 to 12 feet wide depending on the road classification. A Class IV bike bath will be added along Village Parkway, adjacent to the Liberty frontage (Refer to Section 6 – Mobility.)

#### 10.5.2 LIBERTY LOOP AND GREENBELTS

A 1.7-mile, tree-lined Class 1 greenbelt/trail will follow the outside edge of Liberty Loop (north and south) and will unify the community while providing safe pedestrian routes to local destinations. This loop will also serve as an opportunity for residents to exercise and recreate. The Class 1 multi-purpose trail provided along Liberty Loop will connect to Heirloom Drive and provide access to the Clarksburg Branch Line Trail, Stonegate Drive, and Davis Road. A Class 1 multi-purpose trail will also be provided along Village Parkway, providing access north and south along the eastern edge of the community.



NOTE:  
 • It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

# EXH 10-20 COMMUNITY EDGE TREATMENT #1

## Summary

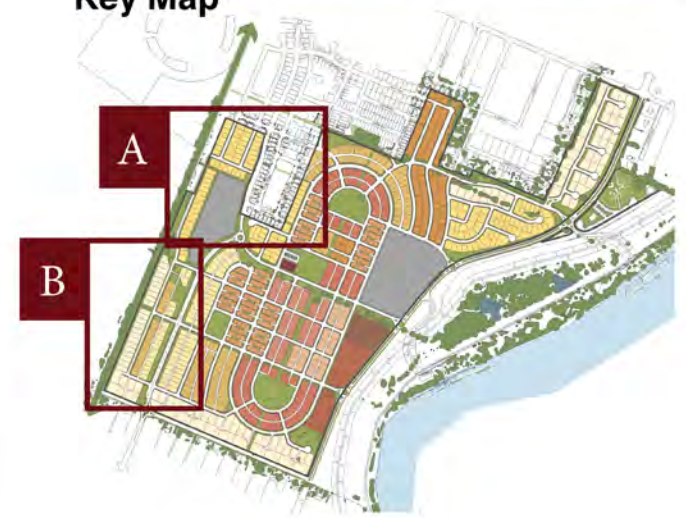
Liberty lots backing up to existing Hopland Street neighbors are larger than the existing lots.

A Class 1 multi-purpose 12' trail surrounds the NC-10 Stormwater Detention Basin and connects residents to the Clarksburg Branch Line Trail via a new pedestrian crossing.

Front doors and livable front yards along the northern portion of Bladen Street face Clarksburg Branch Line Trail and the detention basin creating "eyes on" safety. Path lighting provides clear visibility and safety.



Key Map



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# EXH 10-21 COMMUNITY EDGE TREATMENT #2

## Summary

Greenbelts and lot sizes equal to or larger than the existing neighboring lots are designed along the perimeter edges to maintain the existing character of the adjacent neighborhoods.

Mature trees are preserved within green spaces. A new neighborhood park is designed east of Mojave Drive to expand the existing park north of Liberty and at Whitney Place.

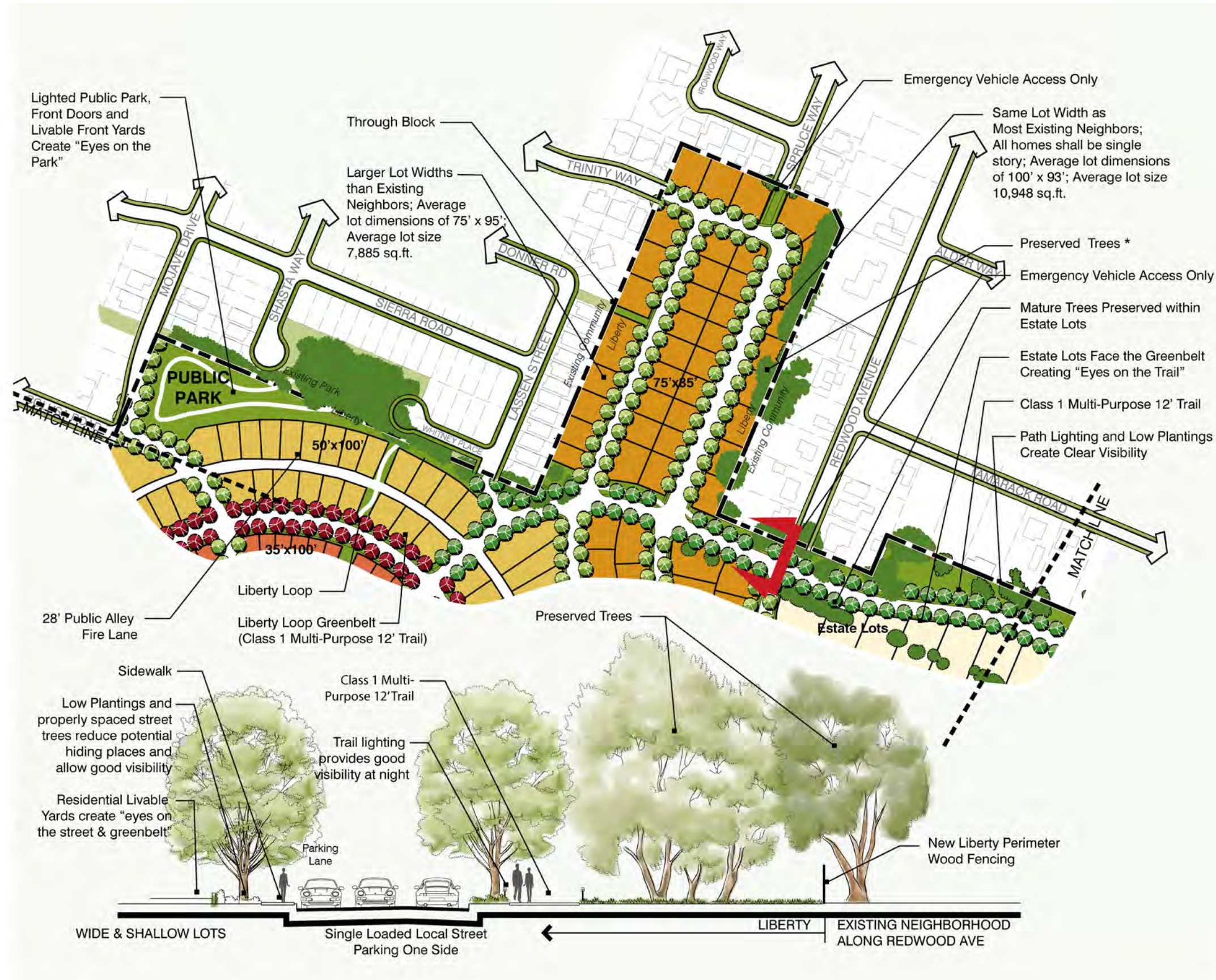
Front doors and livable front yards face the park and greenbelt to create "eyes on" for safety.

**\* Tree Preservation.** An arborist report shall be prepared to evaluate the health of the trees located along the rear lot lines of Lots 298-303. Based on this report, necessary trimming shall be conducted, and any dead trees shall be removed. The report shall also provide recommendations for best practices to guide future homeowners in maintaining tree health, including care of the tree dripline, if one is established.

**NOTE:**

- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

## Key Map



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# EXH 10-22 COMMUNITY EDGE TREATMENT #3

## Summary

Liberty Estate Lots along community edges preserve mature trees in place and help maintain the character of the existing neighborhoods. Lot lines are matched to preserve the existing large lot character of Liberty edges. The Sports & Recreation Community Park provides soccer or baseball fields and undeveloped green space adjacent to existing neighboring properties.



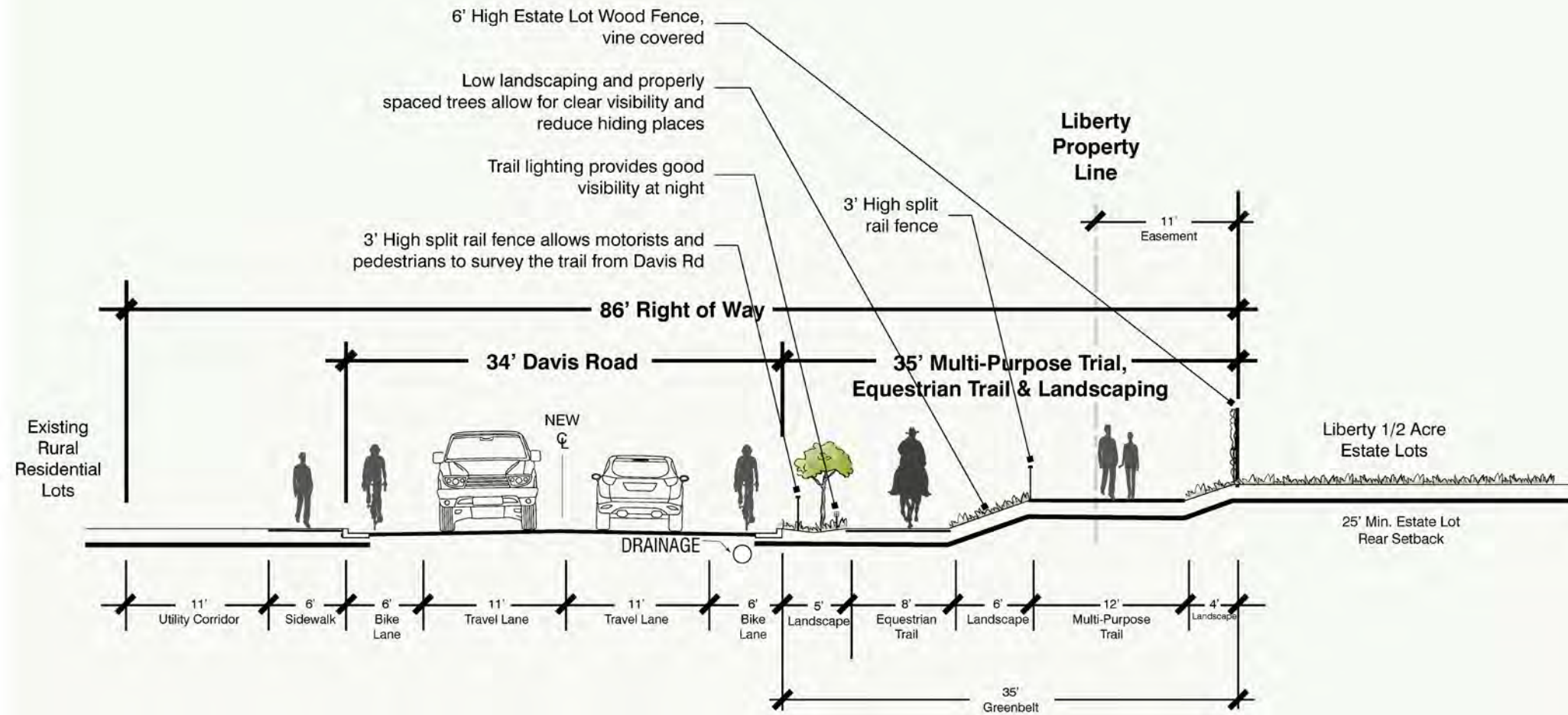
**NOTE:**

- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

## Key Map



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**13, 1/2 Acre Estate Lots**  
 13 estate lots are planned along Davis Rd to match the number of lots across Davis

**NOTE:**  
 • It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

## EXH 10-23 COMMUNITY EDGE TREATMENT #4: DAVIS ROAD

### Summary

Davis Road is a two-lane, minor arterial road at the southernmost edge of Liberty. All improvements will be constructed northward of the existing southern edge pavement. The existing drainage ditch will be replaced by an underground drainage pipe.

The greenbelt will have trail lighting and will be planted with low landscaping to allow clear motorist, cyclists, equestrian, and pedestrian visibility.

### Key Map



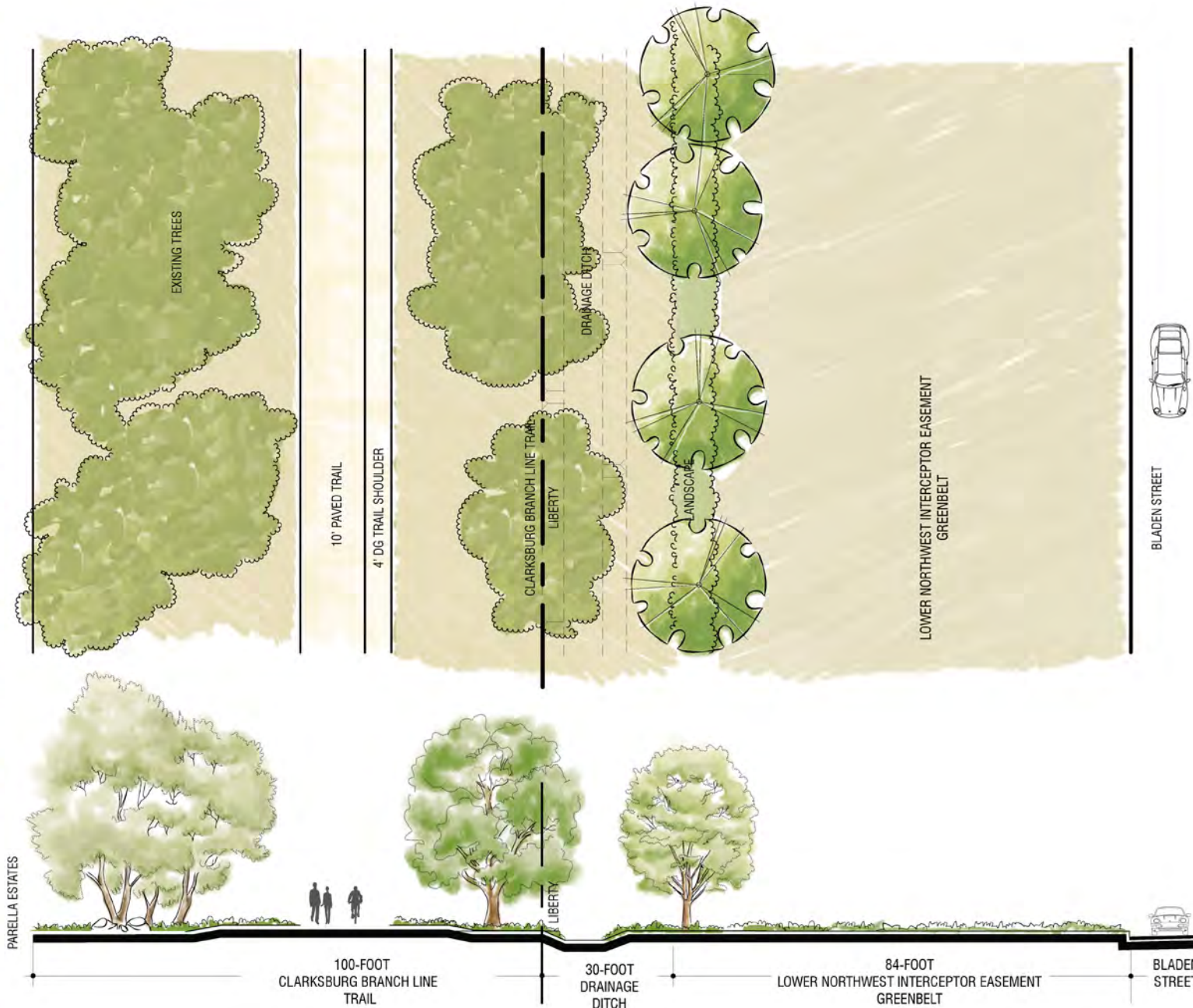
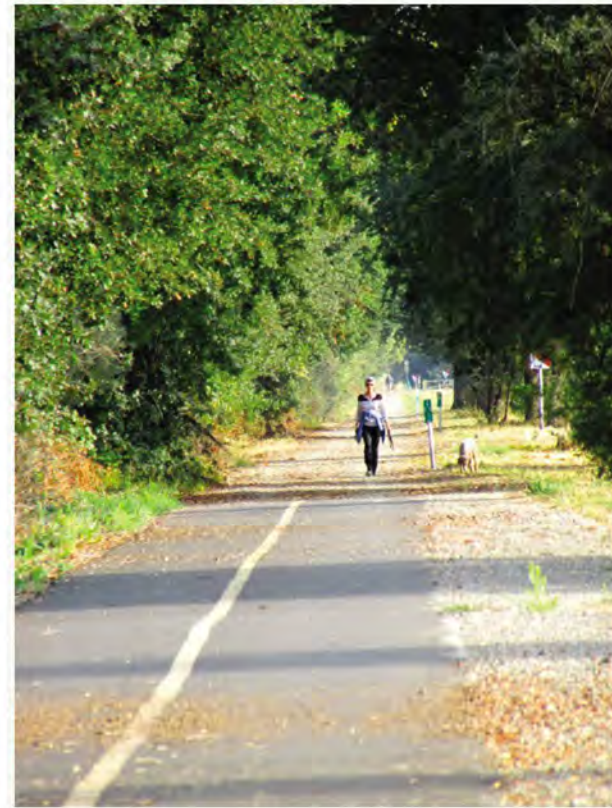
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# EXH 10-24 CLARKSBURG BRANCH LINE TRAIL

## Summary

The Clarksburg Branch Line Trail is a regional multi-purpose trail that runs adjacent to the west side of Liberty and connects residents to the high school, recreation center and shopping just north of Liberty.

Improvements to the trail length along Liberty will be consistent with the current Clarksburg Branch Line Trail City improvement efforts.



## Key Map



NOTE:  
 • It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

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### 10.5.3 THE STONEGATE DRIVE GREENBELT

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As depicted in Exhibit 10-25, Stonegate Drive Greenbelt Schematic, the Stonegate Drive Greenbelt runs parallel to Stonegate Drive, will provide a north/south pedestrian mobility network where residential livable front yards will abut, providing “eyes on” the greenbelt/trail. The Lower Northwest Interceptor (LNWI) sewer line is located below Stonegate Drive Greenbelt and half of Stonegate Drive. The LNWI is a permanent easement which only allows bike trails, surface parking, driveways, and landscaping; trees over 5 feet in height will need to be approved by the Sacramento Regional County Sanitation District (SRCSD). The LNWI will affect Neighborhood Park 6 (Trail Park), Greenbelt 10 (Stonegate West Greenbelt), and a southern portion of Greenbelt 11 (Easement Greenbelt), as shown on Exhibit 5-7, Public Parks & Greenbelts Plan. Meandering multi-purpose trails with shaded sitting areas will provide users additional areas for passive recreation and leisure opportunities. Refer to Exhibit 10-26, Greenbelt Character, for conceptual ideas.

---

## 10.6 PARKS, RECREATION, AND LEISURE

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This section describes the parks, recreation, and leisure opportunities provided within Liberty. The various opportunities have been designed to be within close walking distance to the residents and easily reached by a child on a bicycle. The amenities within the parks and greenbelts/trails shall provide a diversity of experiences, promote a healthy lifestyle, educate, and demonstrate environmentally appropriate landscaping, all of which will enhance Liberty’s overall value to the greater West Sacramento community. The proximity of the various amenities to the residential areas is intended to increase the usability of each park and trail and create unity, identity, and ownership. While amenities have been contemplated for each park within Liberty, these are intended to serve as transitional elements between the anticipated needs of the community and the actual needs once people begin to live within Liberty. Refer to Exhibit 10-27, Design Elements of Liberty Parks; Exhibit 5-7, Public Parks & Greenbelts Plan; Exhibit 5-8, Public Trails Plan; and Exhibit 10-28, Park Amenities Matrix.

### 10.6.1 COMMUNITY PARK (SPORTS AND RECREATION COMMUNITY PARK)

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The Sports and Recreation Community Park, located east of Village Parkway, is intended to provide a variety of community recreation and gathering opportunities. Situated strategically between Village Parkway and the new setback levee along the Sacramento River, this park will become a destination to play baseball or softball day and night (with lighted fields), gather for community events, and even exercise and socialize the family dog at a safe and secure dog park. Just as with other land uses within Liberty, the Community Park shall be designed to support and complement Liberty’s farmhouse interpretative and contemporary cottage design character. The park design will be further refined closer to development to determine the City’s programming needs and to involve required review and public participation. Additional CEQA review may be necessary if additional impacts are identified not previously addresses in the LSP EIR.

Envisioned amenities within the Community Park, as depicted on Exhibit 5-6, Conceptual Sports & Recreation Community Park Schematic, include the following:

- Three lighted baseball and soccer fields.

- A centrally located concession stand (designed to include an iconic tower element) accessed by a vehicular/pedestrian path. The concession stand building will include restrooms and ample space for storage.
- Active play areas for children.
- Open lawn areas for informal active or passive recreation.
- A large group picnic pavilion including a kitchen, restrooms, and a stage.
- Enclosed dog park.
- Protection and preservation of existing majestic trees.
- Off-street parking and a central drop-off zone.
- All parking shall be solar covered and include any wind generation.

### 10.6.2 NEIGHBORHOOD PARKS

---

Neighborhood parks have been strategically placed throughout Liberty to provide convenient locations to recreate, gather, and relax. As designed, these parks are surrounded by neighborhood streets and homes fronting onto the park to support the CPTED principle of “eyes on” the park. While on-street parking for the parks will be provided, the majority of park users will arrive by walking or biking from their homes as a result of Liberty’s “complete streets” and “low stress” mobility network.

Each neighborhood park has been preliminarily programmed to demonstrate the variety of amenities anticipated to ensure a diversity of experiences based upon the needs of the community. Neighborhood parks will be opportunities to embrace the diversity of the community and allow people to enjoy each for their unique attributes. The Great Lawn, located within the northern public park, will be a unique community gathering location where a large open lawn space with an amphitheater and raised stage will be provided to accommodate events and festivals. For community continuity, all parks shall be designed to reinforce the farmhouse interpretative and contemporary cottage character established for Liberty. Large, mostly deciduous, canopy shade trees or groves of oak trees shall be planted to provide majestic statements and most importantly shade in summer. Small- to medium-scale trees will be used to accentuate points of interest or key entries into the park. Refer to Exhibit 10-29, Neighborhood Park Schematic.

### 10.6.3 THE COMMONS

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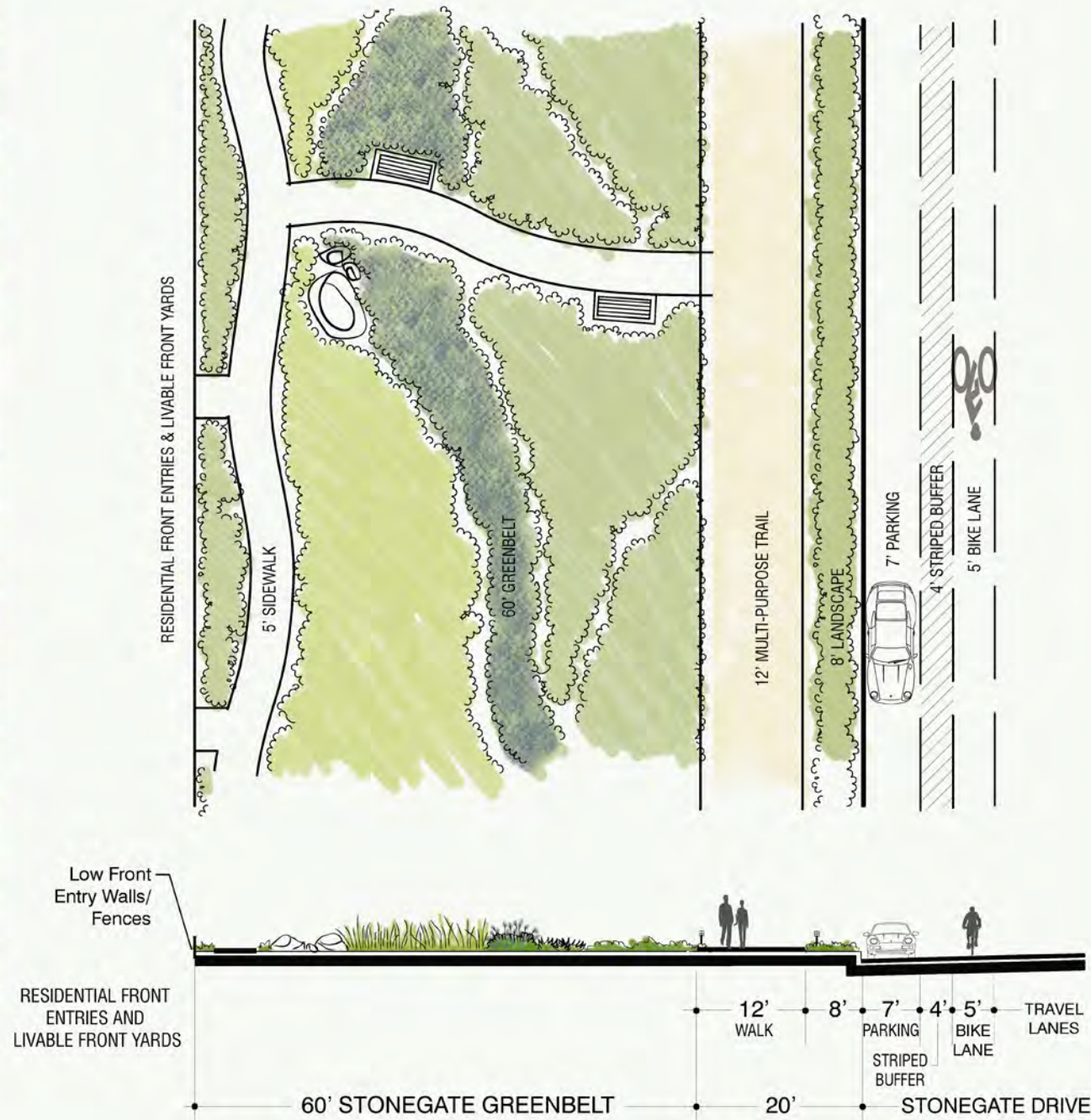
The Commons, with private recreational amenities and neighborhood-serving commercial uses, shall be designed to enhance the community and the pedestrian experience to aid in VMT reduction. The Commons shall exhibit a consistent character defined by its architecture, diversity of amenities, high-quality materials, mature landscape, and signage to promote this as the “heart” of the community. The environment within The Commons shall include a formal landscape treatment to establish a strong visual identity. Refer to Exhibit 10-6, The Commons Concept Plan, for visioning. Key elements within The Commons include private amenities such as an outdoor pool, adult pool, spas, event room (inside and out), shade structures, active play areas for children, outdoor kitchen, bocce ball, an exercise room, yoga room, and bathrooms. The Commons will also include a maximum of 10,000 square feet of neighborhood commercial space and a dog park and picnic area open to the public.



# EXH 10-25 STONEGATE DRIVE GREENBELT SCHEMATIC

## Summary

Stonegate Drive greenbelt is 60' wide and travels along the west side of Stonegate Drive within Liberty and veers northwesterly to connect to Clarksburg Branch Line Trail. A meandering trail, plantings and bench seating will provide activation of the area. Residential front doors and livable front yards face the greenbelt and provide an "eyes on the trail" condition. A residential low wall or wooden fence defines the property line separating public and private space. The Lower Northwest Interceptor (LNWI) sewer line is located below Stonegate Drive Greenbelt and half of Stonegate Drive. The LNWI is a permanent easement which only allows bike trails, surface parking, driveways, and landscaping; trees over 5 feet in height will need to be approved by SRCSD.



## Key Map



**NOTE:**

- It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

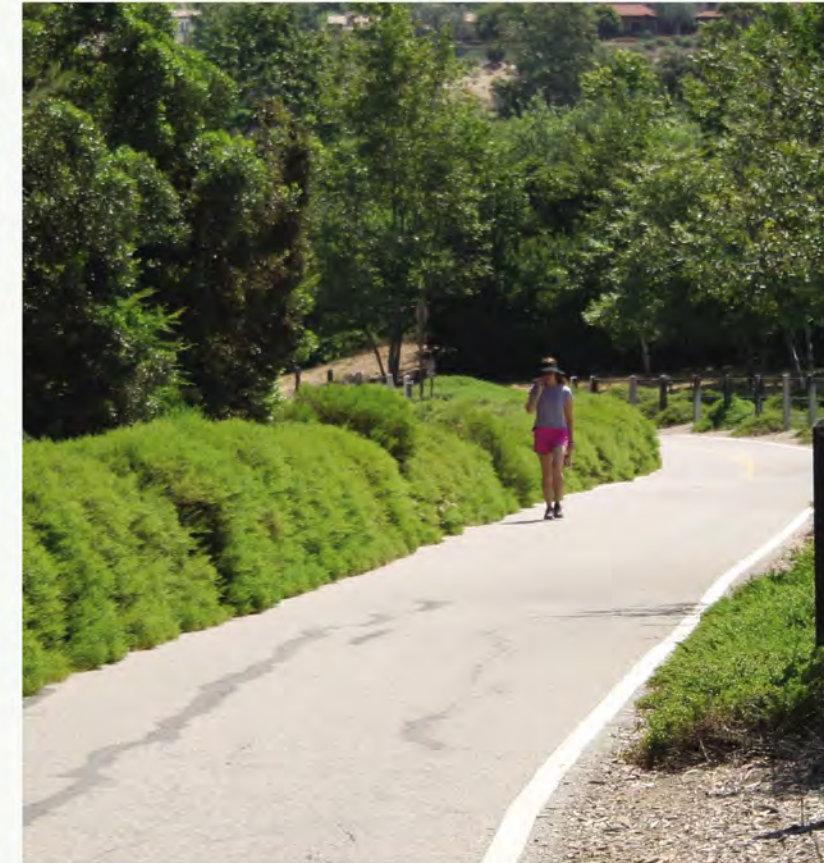
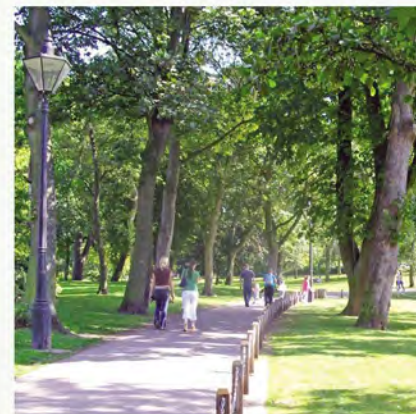
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## EXH 10-26 GREENBELT CHARACTER

### Summary

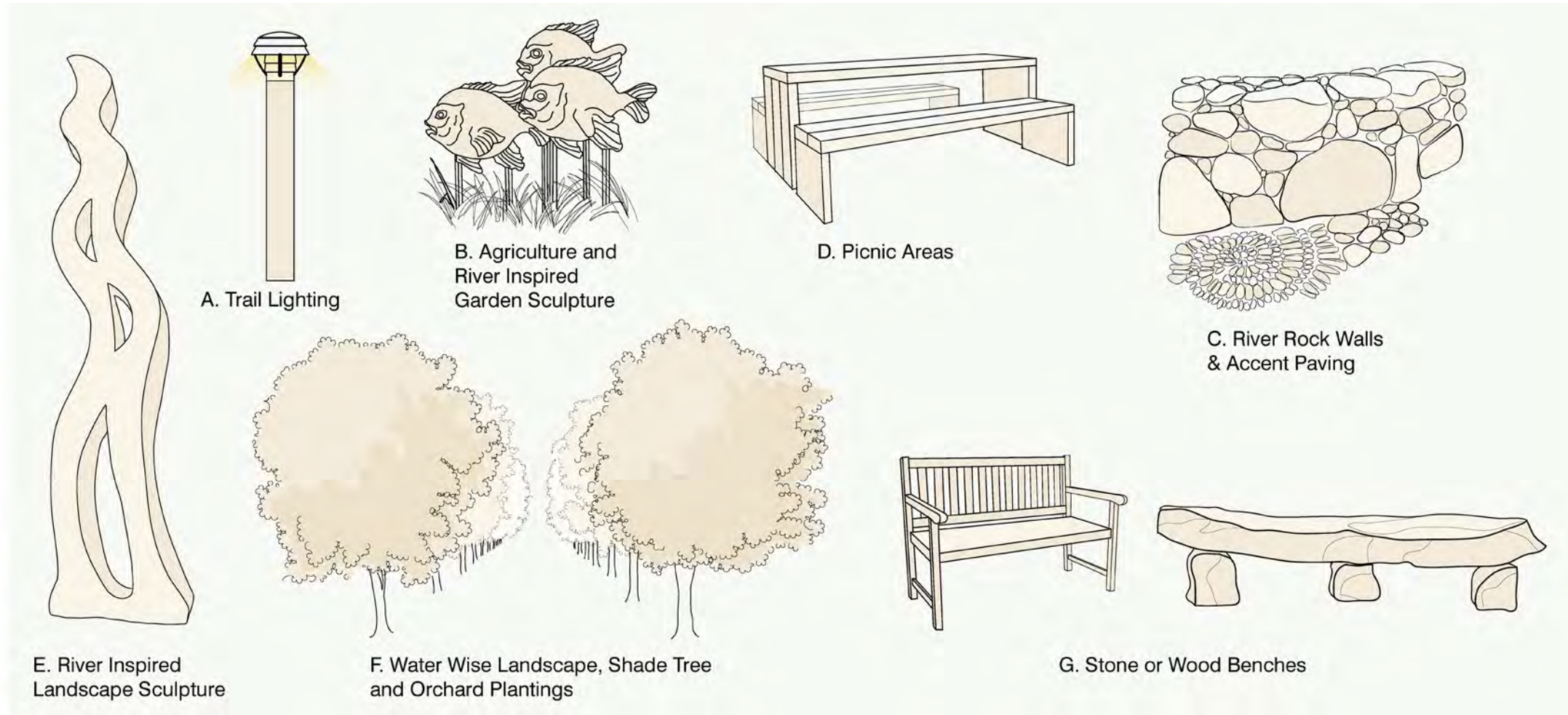
A network of greenbelts containing trails connect residents to destinations within the community as well as connecting to neighboring Clarksburg Branch Line Trail. A network of sidewalks and 12' wide multi-purpose Class 1 bike trails within the greenbelts will encourage walking, running and biking. Shade trees, plantings and lighting along the paths will make traveling on them comfortable and safe.



### Key Map



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E. River Inspired Landscape Sculpture

F. Water Wise Landscape, Shade Tree and Orchard Plantings

G. Stone or Wood Benches



EXH 10-27  
**DESIGN ELEMENTS OF LIBERTY PARKS**

**Summary**

Liberty parks are highly amenitized with water wise plants, bench seats, picnic areas, lit walking paths, shade structures, large canopy trees, orchard plantings, playgrounds, open fields, sport courts, and entry monumentation.

Parks within Liberty will respect the design theme inspired by the overarching Farmhouse Interpretive and Contemporary Cottage design character, the Sacramento River, and the historic agricultural practices of the area. Park elements are sophisticated but playful and include large and small scale garden sculptures, pergolas and path accent structures, river rock walls and accent paving. Activities like bocce ball, horse shoes and chess shall be designed into the park landscape. Playground areas within Liberty are imaginative and unique.

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# EXH 10-28 PARK AMENITIES MATRIX

## Summary

A hierarchy of park amenities and program elements are to be distributed throughout the community creating variety and interest. Final park designs may include more amenities than required.

Parks should also include:

1. Quiet zones for reading, painting, yoga, meditation, etc.
2. Leisure Bird Watching areas. Over 200 Species of birds live within the area.
3. Fitness trail

PARK GREENBELT #	NAME	OWNER	SIZE (AC)	Restrooms	Storage	Lighting	Seating	Farmer's Market	Amphitheater	Uncovered Tables	Covered Tables	Food Stand	BBQs	Dog Park	Play Ground	Open Space	Baseball/ Softball	Basketball /Tennis	Soccer	Football	Volleyball	Sand Volleyball	Pool/Hot Tub	Fire Pit	Handball	Horseshoes	Bocce Ball	Croquet	Badminton	Chess Games	Indigenous Garden	Edible Garden	
CP1	Sports & Recreation Community Park	Public	9.0	x	x	x	x		x	x	x	x			3			x															
NP1	Neighborhood Park 1 - northern half park	Public	1.5			x	x							x	x																		
NP2	Neighborhood Park 2 - north half circle park	Public	3.2	x	x	x	x	x	x																								
NP3	Neighborhood Park 3 - tree park	Public	2.0			x	x							x	x																		
NP4	Neighborhood Park 4 - south half circle park	Public	3.8			x	x		x																								
NP5	Neighborhood Park 5 - rectangle park	Public	1.5	x	x	x			x	x	x			x	x		0.5					x											
NP6	Neighborhood Park 6 - trail park	Public	1.2			x	x							x																			
G1	North South Spine Greenbelt	Public	3.2			x	x																										
G2	East West Northern Edge Greenbelt	Public	2.5			x	x																										
G3	Village Parkway West Greenbelt	Public	3.9			x	x																										
G4	Heirloom Drive South Greenbelt	Public	3.8			x	x																										
G5	East West Greenbelt	Public	0.7			x	x																										
G6	Davis Road Greenbelt	Public	0.7			x	x																										
G7	Stonegate East Greenbelt	Public	1.4			x	x																										
G8	Stonegate West Greenbelt	Public	1.3			x	x																										
G9	Easement Greenbelt	Public	3.4			x	x																										
G10	Other Areas	Public	3.5			x	x																										
Q1	NC-10 Greenbelt	Quasi-Public	3.3			x	x																										
Q2	NC-10 Water	Quasi-Public	9.2																														
OS	Affordable Rentals/Seniors/Apt/Condo/Townhomes Recreation Centers	Public	n/a	x	x	x	x		x	x	x			x			x					x			x				x	x	x		
<b>COMPARISON</b>			<b>PUBLIC</b>	<b>59.1</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	
			<b>PRIVATE</b>	<b>19.2</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	<b>x</b>	
PP1	The Commons Park	Private	2.8	x	x	x	x		x	x	x			x			0.5				x	x			x	x			x				
OS	WUSD Property (PQP)		16.4	x	x	x	x		x	x				x	x	4	6	2				x											
OS	Clarksburg Branch Trail Line	Private	n/a			x	x																										
River City High School & Recreation Center			Public	n/a	x	x	x	x								4	7	8	3	1			x										

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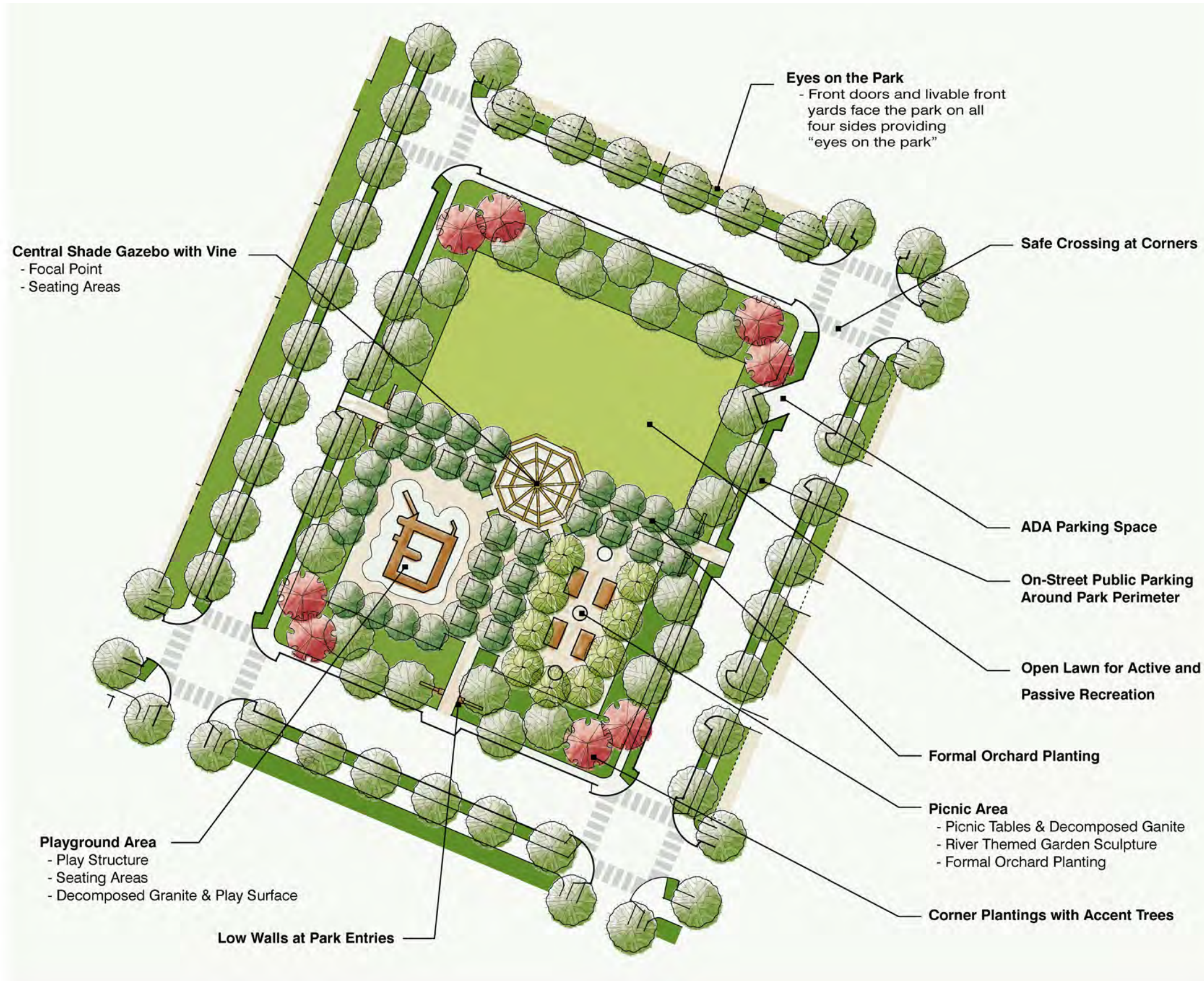


# EXH 10-29 NEIGHBORHOOD PARK SCHEMATIC

## Summary

Liberty neighborhood parks share a design theme inspired by the overarching farmhouse interpretive and contemporary cottage design character, the Sacramento River, and the historic agricultural practices of the area. Parks are highly amenitized and will be carefully designed to maximize space efficiently while creating sophisticated but playful, and relaxing spaces for residents to enjoy.

In the park schematic shown, formal tree plantings help define and give importance to interior spaces and the park's edges.



## Key Map



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## 10.7 WAYFINDING AND PLACEMAKING DESIGN STANDARDS

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At key locations, community monuments will act as landmarks identifying Liberty as a special place (refer to Exhibit 10-30, Wayfinding & Placemaking Plan). The appropriate, consistent, and comprehensive design and use of monuments and signs will help establish a cohesive community character. The overall community monument and signage design objective is to create distinct points of arrival and transitions at key locations as well as to establish importance and emphasis.

Examples of what the wayfinding and placemaking monuments and signage could look like are shown on Exhibit 10-31, Wayfinding & Placemaking Character; Exhibit 10-32, Wayfinding & Placemaking Monument Examples; and Exhibit 10-33, Wayfinding & Placemaking Sign Examples.

Community identity and, in-turn, wayfinding and placemaking shall be reinforced through the careful selection of street names that support the overarching farmhouse interpretive and contemporary cottage character established for Liberty.

A Liberty placemaking and wayfinding program has been designed to reinforce Liberty's sense of quality, continuity, and character. All wayfinding and placemaking community markers and signage shall be used in an understated manner, emphasizing an image of timelessness and quality established for Liberty. Refer to Exhibit 10-32, Wayfinding & Placemaking Monument Examples; and Exhibit 10-33, Wayfinding & Placemaking Sign Examples.

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## 10.8 LIBERTY LIGHTING

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Lighting throughout Liberty shall be attractive and low-level to ensure safety for the residents and reinforce the pedestrian scale of the community. All lighting will use warm colored temperature LED light sources with a high color-rendering index (CRI). Lighting will emphasize community amenities such as monuments, provide continuity along street corridors, and ensure the safety of residents who will travel along the various greenbelts/trails within the community. The use of banners, attached to streetlights, highlighting community events is encouraged in and around The Commons and on Liberty Loop and Heirloom Drive, as shown on Exhibit 10-33, Wayfinding & Placemaking Sign Examples. A consistent "family" of decorative LED lighting luminaires, poles, and bollards shall be established to provide a hierarchy based upon land use. Pole heights will be selected based upon their location/land use; these heights will be determined by the Liberty design team in conjunction with the City of West Sacramento. Poles shall not exceed the maximum height desired for a particular area while respecting the pedestrian scale of the community. Greenbelts/trails shall be bi-level lit using durable bollards where feasible and appropriate. Lighting along greenbelts/trails shall be understated and not call undue attention.

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### 10.8.1 COMMUNITY FURNITURE

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Community furniture is a critical element in creating a cohesive and attractive environment and therefore, such as with lighting, a consistent "family" of furniture shall be established for Liberty. The style of furniture must respect the farmhouse interpretive and contemporary cottage design theme. Examples of community furniture to be utilized within public and private spaces include benches, tables, waste and recycling receptacles, bike racks, drinking fountains, and fencing. Community furniture will assist in establishing the

distinct character of Liberty. Community furniture shall be constructed of high quality and durable materials. All community furniture within publicly owned areas shall be reviewed and approved by the City.

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## 10.9 WALL AND FENCE DESIGN STANDARDS

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Walls and fences within Liberty shall provide physical and visual barriers, noise attenuation, and in key areas accentuate neighborhood features. Sound walls shall be used only where required; excessive use of soundwalls leads to monotony and can destroy the aesthetics of a community. Careful planning has allowed Liberty to be nearly a sound wall free community, as shown on Exhibit 10-34, Wall & Fence Plan. A variety of complementary wall and fence designs will be used to soften the streetscape, create livable areas, and help separate private spaces from public spaces, as shown on Exhibit 10-35, Wall & Fence Examples. The design character of all walls and fences and the selection of materials and colors shall be consistent with the overarching farmhouse interpretive and contemporary cottage design theme established for Liberty.

### A. GENERAL STANDARDS

- i. High quality design, materials, and colors shall be the standard. All wood fences, except for naturally aging split rail fences with gaps of no more than two-inches, and all steel/metal fence posts shall be painted or stained earth-toned color as approved by the Community Development Department.
- ii. Where walls and pilasters are used, the materials shall be consistent with the farmhouse interpretive and contemporary cottage community character. Enhanced pilasters will be spaced to interrupt long wall runs, placed at the terminus of walls, and at elevation changes. Accent caps shall be used to gain shadow patterns at the top of the wall and on top of pilasters. Vines shall be trained onto all walls for aesthetics as well as to prevent graffiti.
- iii. The maximum height for rear and interior side yard lot line walls, fences, and gates shall be six (6) feet unless required to be taller for noise attenuation. Rear fences for Estate Lots backing Bastone Court neighbors in the northeast area of Liberty are allowed to have seven-foot-tall (7') rear fences, as designated on Exhibit 11-12, Estate Lots: Bastone Court Neighbors.
- iv. Materials specifically not acceptable for walls and fences include but are not limited to the following: aluminum or sheet metal, chicken wire, chain link, plastic webbing, plastic picket fences or plastic arbors, reed or straw-like materials, plastic or fiberglass sheets or panels, rope or other fibrous strand elements, lattice panels, or grape-stake.
- v. Walls, fences, and gates visible from a public vantage point must be enhanced yet shall be simple in design. Plantings in front of walls and fences is required to soften the appearance. Bold arches, elaborate filigree, and other highly distinctive elements that establish an independent theme that conflicts with the overall community theme of farmhouse interpretive and contemporary cottage are not permitted.
- vi. All fences adjacent to City-owned or City-maintained property shall utilize Master-Halco steel posts or approved equivalent.

### B. COMMUNITY WALLS

Community walls are the perimeter masonry walls separating residential areas from Village Parkway and potentially along adjacent residential neighborhoods. Community walls will provide privacy, security, and

protection from roadway noise while helping to establish a common image and sense of continuity. To reinforce the common image, there shall be one design for the community walls located along Village Parkway, as shown on Exhibit 10-35, Wall & Fence Examples; Exhibit 10-36, Wall & Fence Character; and Exhibit 10-37, Wall & Fence Character, Cont. For residential lots located adjacent to existing residential developments, an enhanced wood fence should be used. Walls should be kept to a minimum and blend into the overall landscape and not become a dominant visual element. The use of vines trained onto the walls will help accomplish this. Concrete Masonry Unit (CMU) panel systems are not allowed.

### C. COMMUNITY VIEW FENCES

Community view fences are perimeter fences that provide definition of space while allowing view opportunities and "eyes on" spaces. View fencing that is appropriate for the community's farmhouse interpretive and contemporary cottage architecture is shown on Exhibit 10-35, Wall & Fence Examples. Any opaque and/or landscaping higher than three (3) feet is prohibited along all view fences throughout Liberty.

### D. RESIDENTIAL INTERIOR REAR AND SIDE YARD FENCES

The residential interior rear and side yard fences separate individual residences from each other along the side and rear property lines where community view fence or community walls are not required or appropriate. These types of fences are wood and shall be painted or stained for aesthetics and to help provide weather resistance. All locations of residential 6-foot walls and fences shall be provided by builders and include postmaster posts.

### E. LOW (LIVABLE FRONT YARD) WALL & FENCE LOCATIONS

Low (3' maximum) walls and fences will delineate the 'livable front yards' referenced throughout the Specific Plan. Builders will provide options of low wall and fence designs and location/layout options for the livable front yard. Once the livable front yard low wall or fence has been built there will be no changes to the location of these low walls/fences. This is due to the landscape maintenance HOA contracts and HOA irrigation systems. Once low wall/fence locations have been established the HOA will maintain landscaping outside of the livable front yard and the homeowner will maintain the landscaping within the low wall/fence (the livable front yard). The three-foot (3') wall/fence will act as a boundary for irrigation systems.

### F. TRAIL FENCES

Trail fencing separates and defines trails from adjacent land uses where people are not intended to access. The design of the fences shall be a prefabricated split rail or three rail fences, made from concrete or wood (reclaimed). Trail fencing shall also be used to define the edge of Davis Road. This trail fence will also provide separation and define space between the public trail and the adjacent roadway.

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## 10.10 LANDSCAPE SUSTAINABILITY

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The Landscape Design Standards, in combination with other site planning strategies, reflect a number of features that facilitate sustainable development, such as north/south and east/west oriented streets in a grid pattern to permit passive solar design and capture cool delta breezes in the evenings. The Design Standards build upon these elements and incorporate sustainable development strategies including the following:

- All landscaping shall be climate-appropriate;
- Automatic, weather-based, and water-saving irrigation controllers shall be used;
- Energy efficient exterior (bi-level) LED lighting, skylights and lighting controls shall be installed to the extent feasible;
- Greenbelts/trails have been designed on-site to encourage non-automobile mobility;
- The 371 existing healthy and mature trees on the Liberty project site will be preserved to the maximum extent physically and financially feasible;
- All trees impacted with development shall have an arborist report specifically addressing each tree and if the development negatively impacts the tree, mitigation shall be required; and
- Mostly deciduous (except where evergreens are required), shade-producing trees will be planted to create an urban forest.



NOTE:  
 • It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

# EXH 10-30 WAYFINDING & PLACEMAKING PLAN










## Summary

Village Pkwy entries to the community will be identified with primary monumentation. Secondary monumentation will occur along the southern edge and Stonegate Drive.

The senior/apts/condo/townhome communities, as well as the gated Estate Lots at the northeast edge of Liberty, will also be identified with secondary monuments.

Wayfinding and placemaking signs will be used for the WUSD Property, parks, and greenbelts/trails throughout the Liberty.

### LEGEND

-  **Destination**  
Temporary signage at merchant home builder model complexes
-  **Directional**  
Directional signage at key circulation
-  **Interpretive**  
Information, ancillary, and other minor signage at pedestrian connections, and points of interest
-  **Event**  
Information signage at key community locations
-  **Monumentation Primary**
-   **Secondary**
-  **Identification**  
Signage at parks and WUSD property
-  **Secondary signage at private facilities**

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## EXH 10-31 WAYFINDING & PLACEMAKING CHARACTER

Wayfinding and placemaking within Liberty will reinforce the community's overarching farmhouse interpretive and contemporary cottage architectural styles while providing signage elements within the landscape. Signage, placemaking/wayfinding, and community monuments will consist of the following elements to reinforce the community's distinct character.

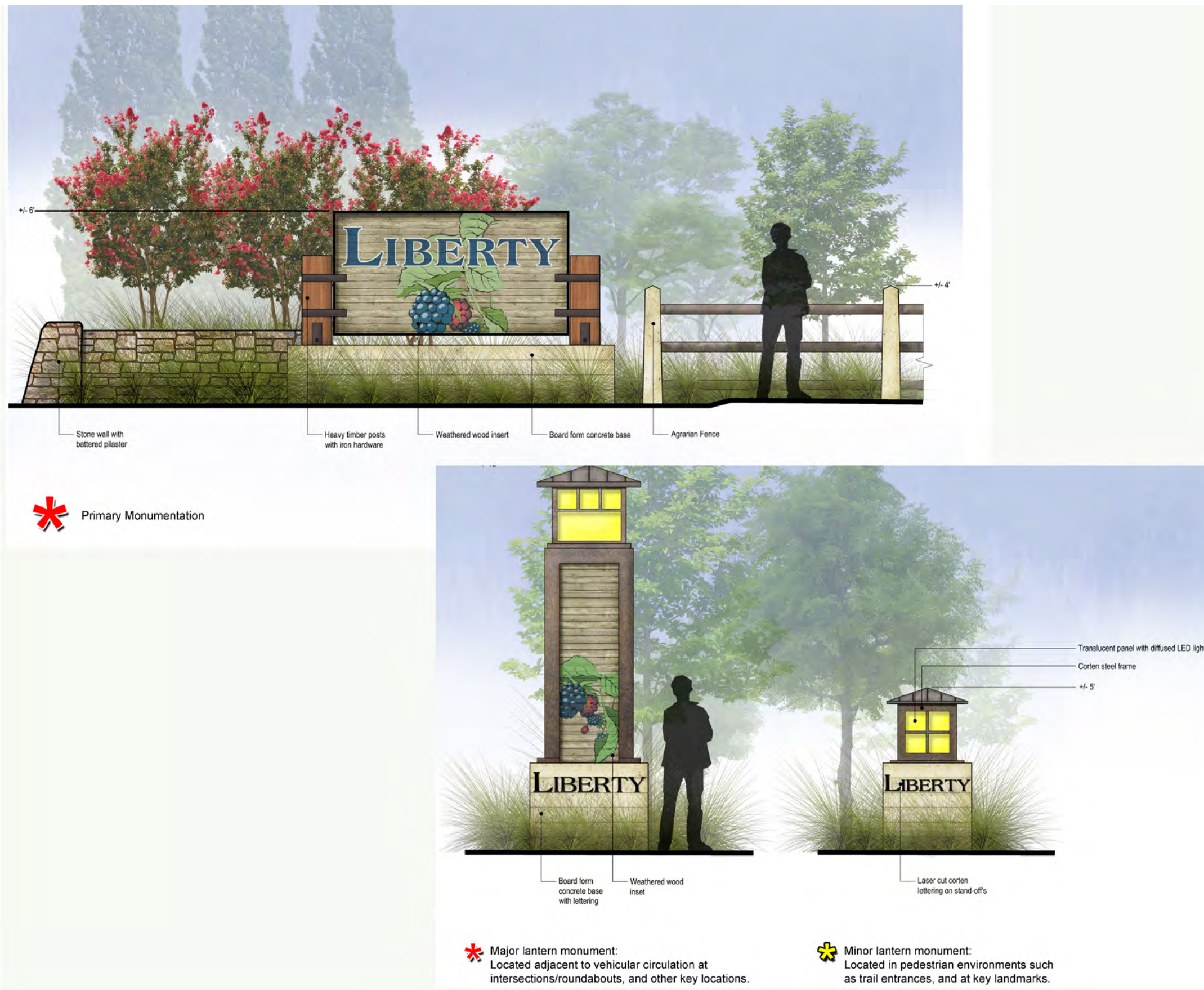
1. Board form concrete will be used for such elements as sign bases and low walls, recalling historic construction techniques. Integral color may be used.
2. Stone veneer (used on low walls or as a component of community monuments) will be irregularly shaped, and use over-grouted joints.
3. Accent materials, including heavy timber, weathered metals, and iron hardware will provide contrast with dominant materials. Treated wood or wood-like products shall be used.
4. Corten or weathering steel elements may be used for signs, lettering, posts or fencing.
- 5-8. Agrarian fencing will be used throughout the Liberty community in entry monuments, parks, trails, and greenbelts. Agrarian fencing shall be wood, metal or concrete.
9. Concrete slump block will be used in the soundwall fence panels. Light skim coat and paint will be applied to slump block surfaces, similar to image shown.


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# EXH 10-32 WAYFINDING & PLACEMAKING MONUMENT EXAMPLES


## Summary

Wayfinding and placemaking monumentation will reflect Liberty's overarching farmhouse interpretive and contemporary cottage architectural styles and provide wayfinding and placemaking elements within the landscape.

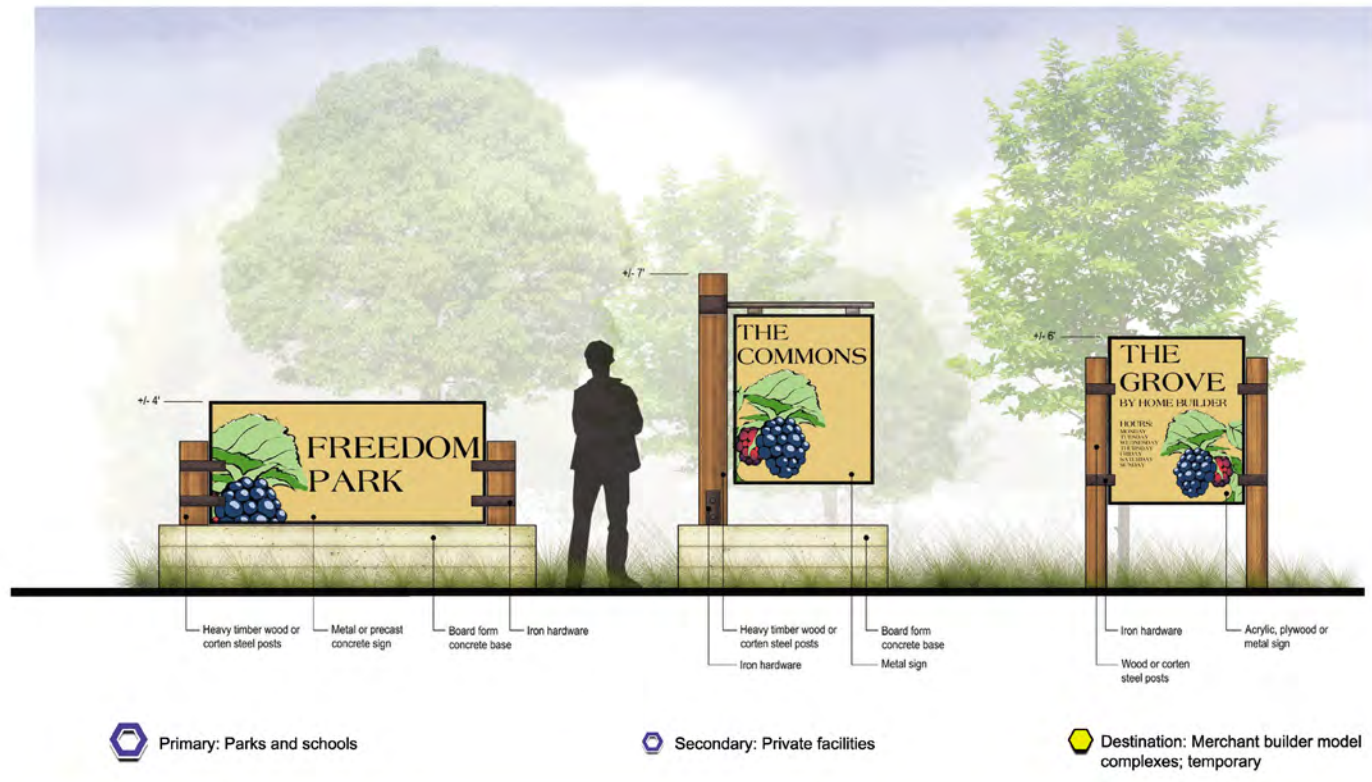


 Primary Monumentation

 Major lantern monument:  
Located adjacent to vehicular circulation at intersections/roundabouts, and other key locations.

 Minor lantern monument:  
Located in pedestrian environments such as trail entrances, and at key landmarks.

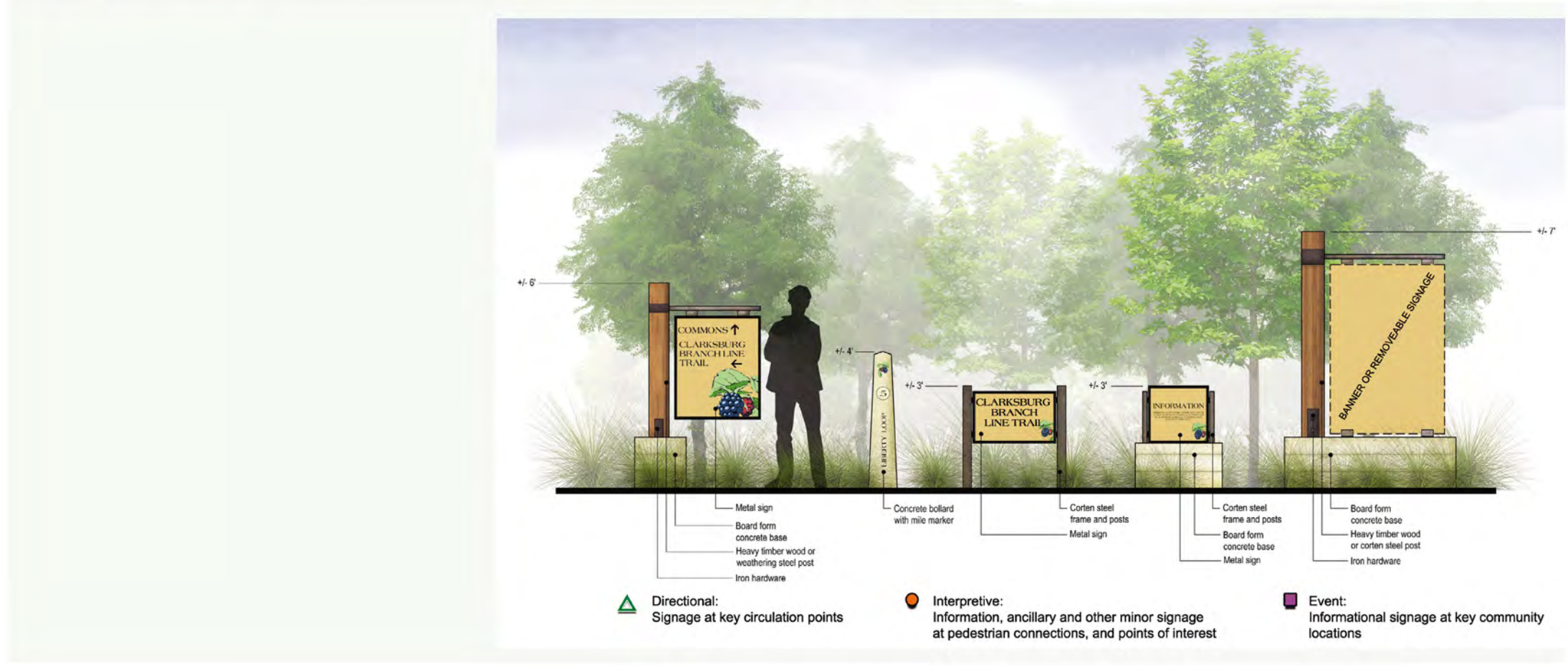
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# EXH 10-33 WAYFINDING & PLACEMAKING SIGN EXAMPLES

## Summary

The sign program shown here illustrates the types and potential hierarchy of signs anticipated within Liberty. Sign locations can be found on Exhibit 10-30, *Wayfinding & Placemaking Plan*. Comprehensive wayfinding, placemaking and lighting programs will be developed by the Liberty design team at a later date.



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# EXH 10-34 WALL & FENCE PLAN



### Legend

- - - - Sound Wall
- - - - Sound Wall to match existing Stonegate Dr wall
- - - - View Fence (as required at affordable rental/senior/apts/condos/townhomes and WUSD Property)
- - - - Enhanced View Fence
- - - - Enhanced Wood Fence
- - - - Enhanced Wood Fence (gates are permitted)
- - - - Typical Residential Wood Fence
- - - - Estate Lot Wood Fence
- - - - Estate Lot Wood Fence / Typical Residential Wood Fence (gates are permitted)

NOTE:  
 • It is important to note that while these graphics provide detailed street aerial and section views, the Vesting Tentative Subdivision Map will take precedent on the overall design.

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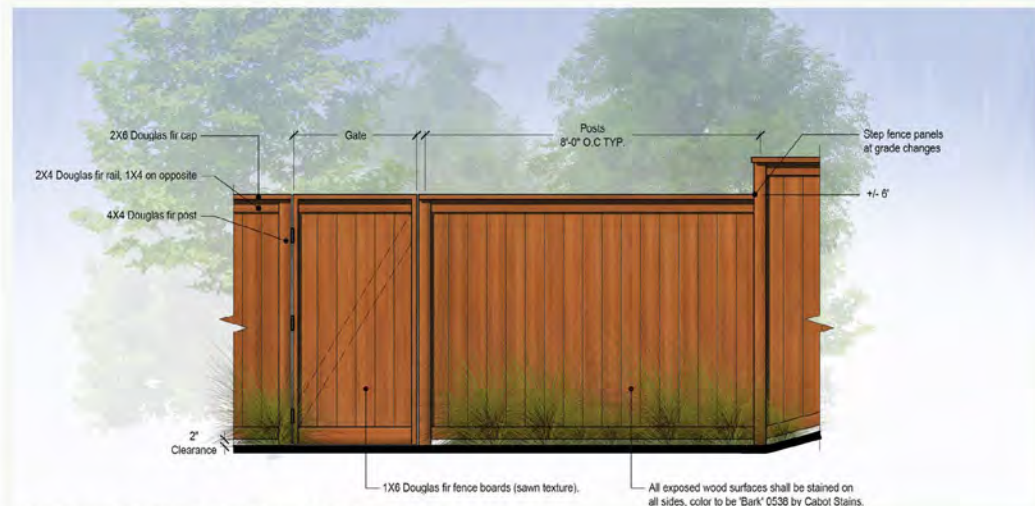
EXH 10-35  
WALL & FENCE  
EXAMPLES



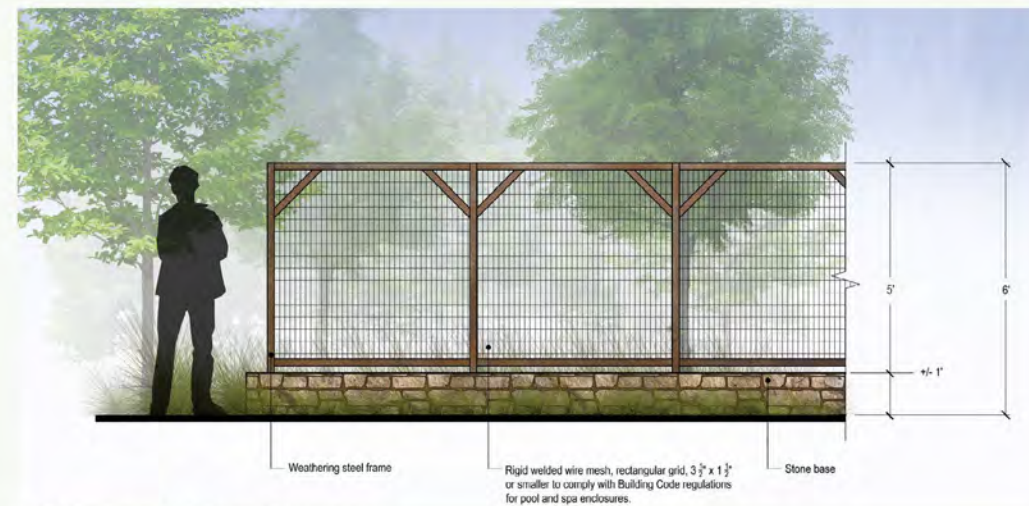
Enhanced Wood Fence



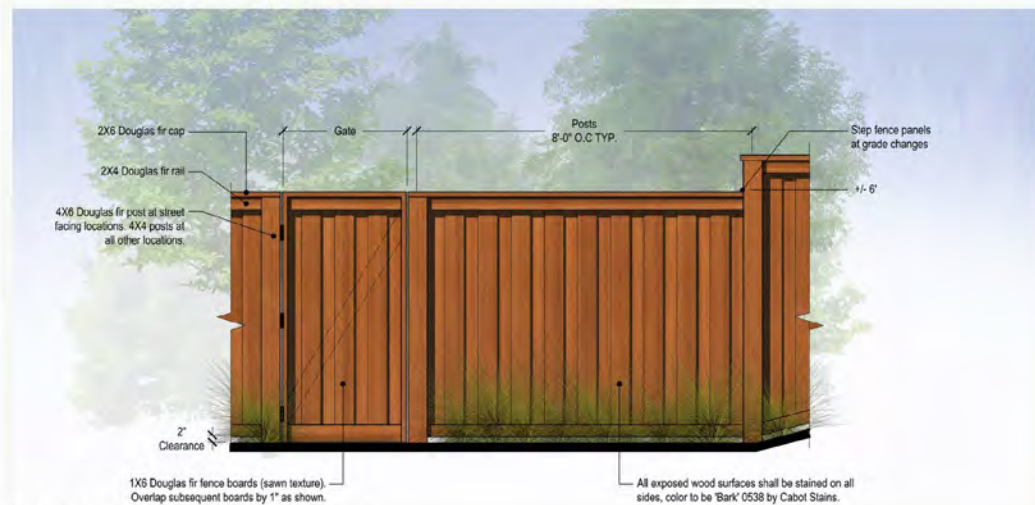
Sound Wall



Typical Residential Wood Fence



Enhanced View Fence



Estate Lot Wood Fence



View Fence

NOTE:  
Masonry sound walls will be constructed on-site. Panel systems are not permitted.

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### Low Front Yard Wall & Fence

- Wall or Fence Height: 3'0" max
- Wood, Stone, Brick, Stucco and Concrete finishes allowed. No vinyl, chain link, or unfinished block allowed



**Concrete or Stucco Finish Wall with Wood Gate**



**Stone Wall**



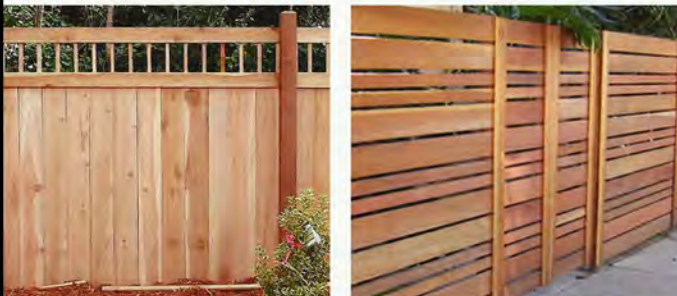
**Brick Wall with Pilasters**




**Wood Picket Fence**

### Side & Rear Yard Wall & Fence


- Wall or Fence Height: 6'0"
- Wood, Brick, Stucco and Concrete finishes allowed
- No vinyl, chain link, or unfinished block allowed



**Wood Fencing**



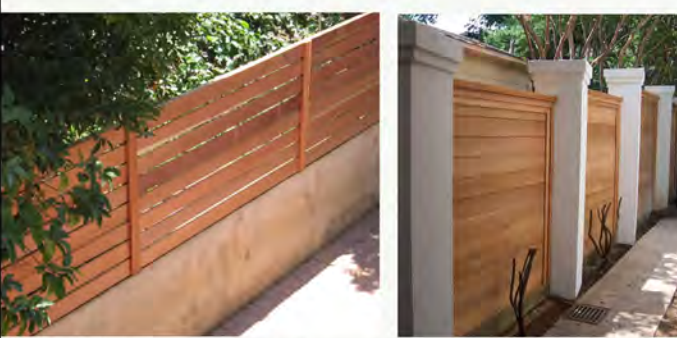
**Stucco Wall with Vine Pattern**




**Brick & Hedge Wall**

### Large Lot Wall & Fence


- Wall or Fence Height: 6'0" max
- Wood, Stone, Brick, Stucco and Concrete finishes allowed. No vinyl, chain link, or unfinished block allowed



**Wood & Stucco Fence**



**Brick wall with pilasters**



**Wood View Fence**

## EXH 10-36 WALL & FENCE CHARACTER

### Summary


Low wood fences or masonry walls and pilasters delineate livable front yards and mark corners and trails. Decorative wood fencing will be used in back and side yards.

- All fences and walls must be consistent with the architecture
- Landscape covered fences and walls or hedges are permitted
- All fences and walls must be softened with exterior facing landscaping (rail fence exempt)
- Any opaque and/or landscaping higher than 3 feet is prohibited along rail fencing
- All 6 foot fences and walls should not directly abut a sidewalk or street paving
- Permitted Materials: wood, stone, brick, stucco and concrete finish
- Prohibited Materials: vinyl, and chain link
- Allowed Colors: neutral, earth tones, stained wood, or white
- Pedestrian gates are permitted and must swing inward, away from public space
  - Low front yard access gates must be 3' high
  - Side and rear yard access gates must be 6' high
- Vehicular access gates are permitted for Estate and front loaded lots with garages located in the rear of the lot


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### Pedestrian & Vehicular Gates


- Side Gates Height: 6'0"
- Vehicular Gates Allowed on Estate & Front Loaded Lots
- Wood, Brick, Stucco and Concrete finishes allowed.
- No vinyl, chain link, or unfinished block allowed



**Side/Rear Yard Gate**




**Metal & Wood Vehicular Gate**




**Wood Vehicular Gate**

### Park & Accent Walls


- Split Rail Fence with Pilasters, View Fencing/Walls
- Wood, Brick, Stucco and Concrete finishes allowed
- No vinyl, chain link, or unfinished block allowed




**Dry Laid Stone Wall**



**Stone Wall**




**Concrete Wall & Split Rail Fence with Concrete Pilaster**




**Split Rail Fence with Stone Pilaster**

### Rural Road Fence

- Combination Solid and View Wall Height: 6'0" max
- Pilasters every 50', Regular View Areas and Vines
- Wood, Brick, Stucco and Concrete finishes allowed.
- No vinyl, chain link, or unfinished block allowed




**Wood Fencing with Brick Pilasters**



**Wood View Fence**

### Split Rail Trail Fencing

- Split Rail Fence Height: 3'0" max



**Wood Split Rail Fence**

## EXH 10-37 WALL & FENCE CHARACTER CONT.

### Summary

Low wood fences or masonry walls and pilasters delineate livable front yards and mark corners and trails. Decorative wood fencing will be used in back and side yards.

- All fences and walls must be consistent with the architecture
- Landscape covered fences and walls or hedges are permitted
- All fences and walls must be softened with exterior facing landscaping (rail fence exempt)
- Any opaque and/or landscaping higher than 3 feet is prohibited along rail fencing
- All 6 foot fences and walls should not directly abut a sidewalk or street paving
- Permitted Materials: wood, stone, brick, stucco and concrete finish
- Prohibited Materials: vinyl, and chain link
- Allowed Colors: neutral, earth tones, stained wood, or white
- Pedestrian gates are permitted and must swing inward, away from public space
  - Low front yard access gates must be 3' high
  - Side and rear yard access gates must be 6' high
- Vehicular access gates are permitted for Estate and front loaded lots with garages located in the rear of the lot

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